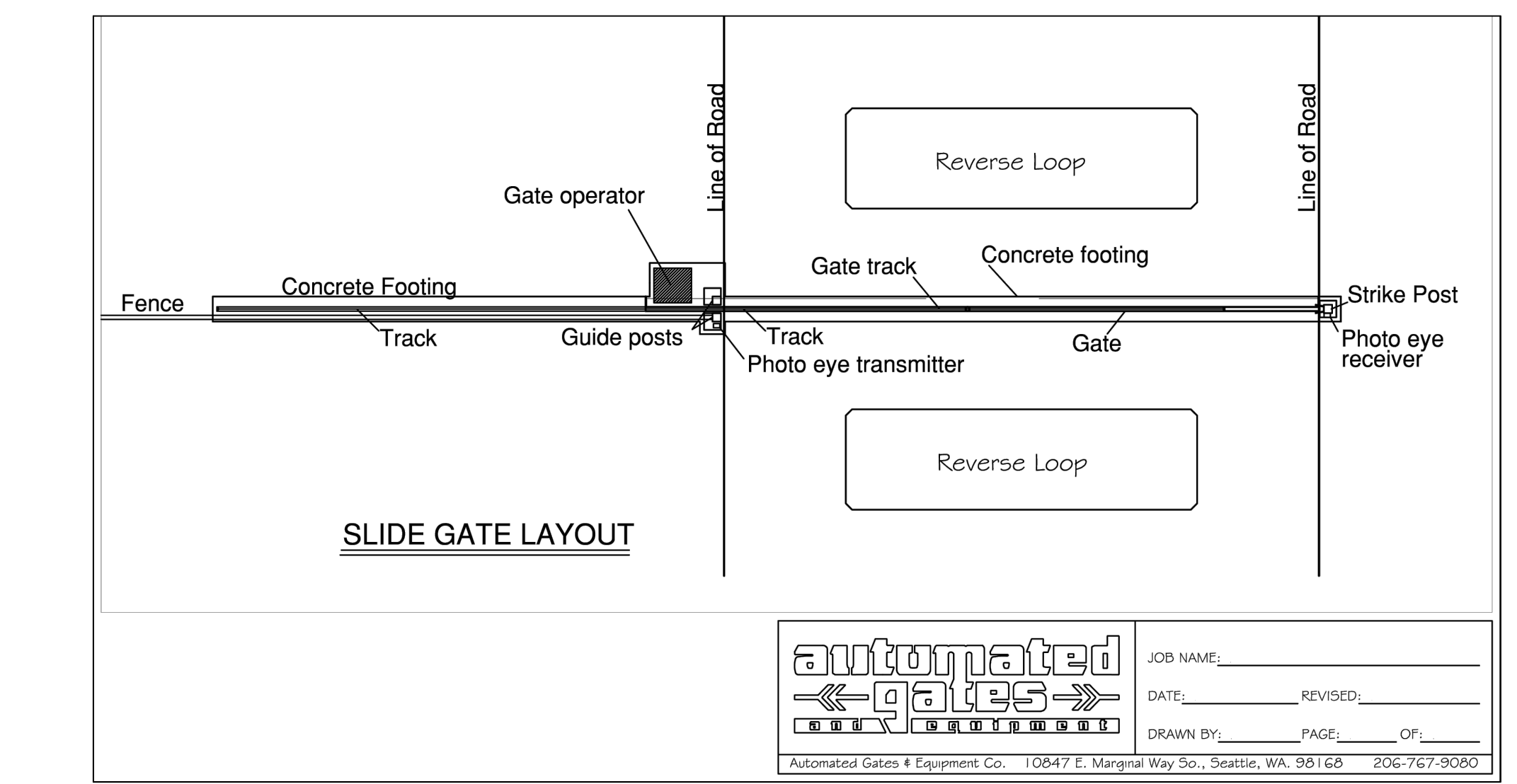
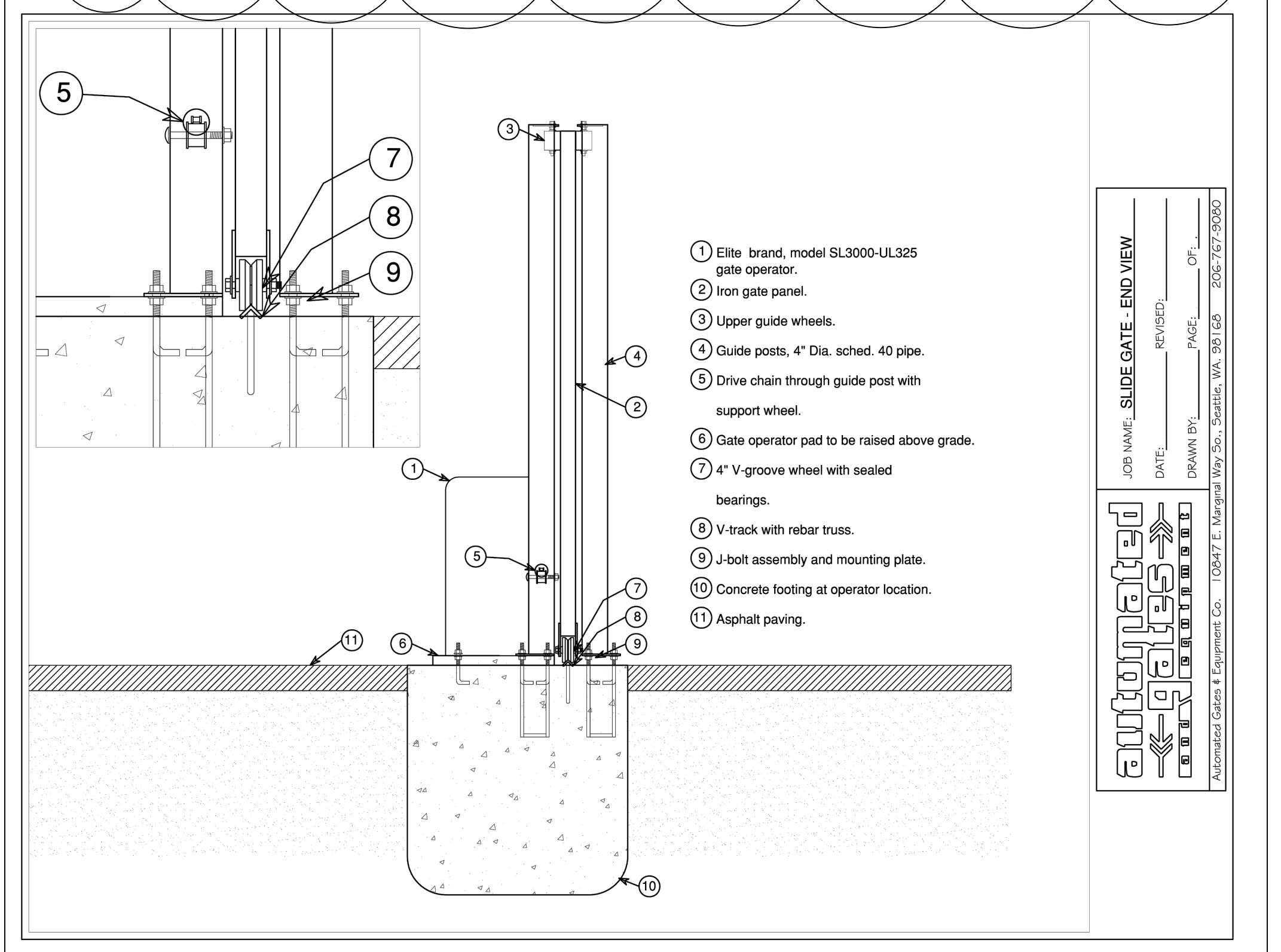
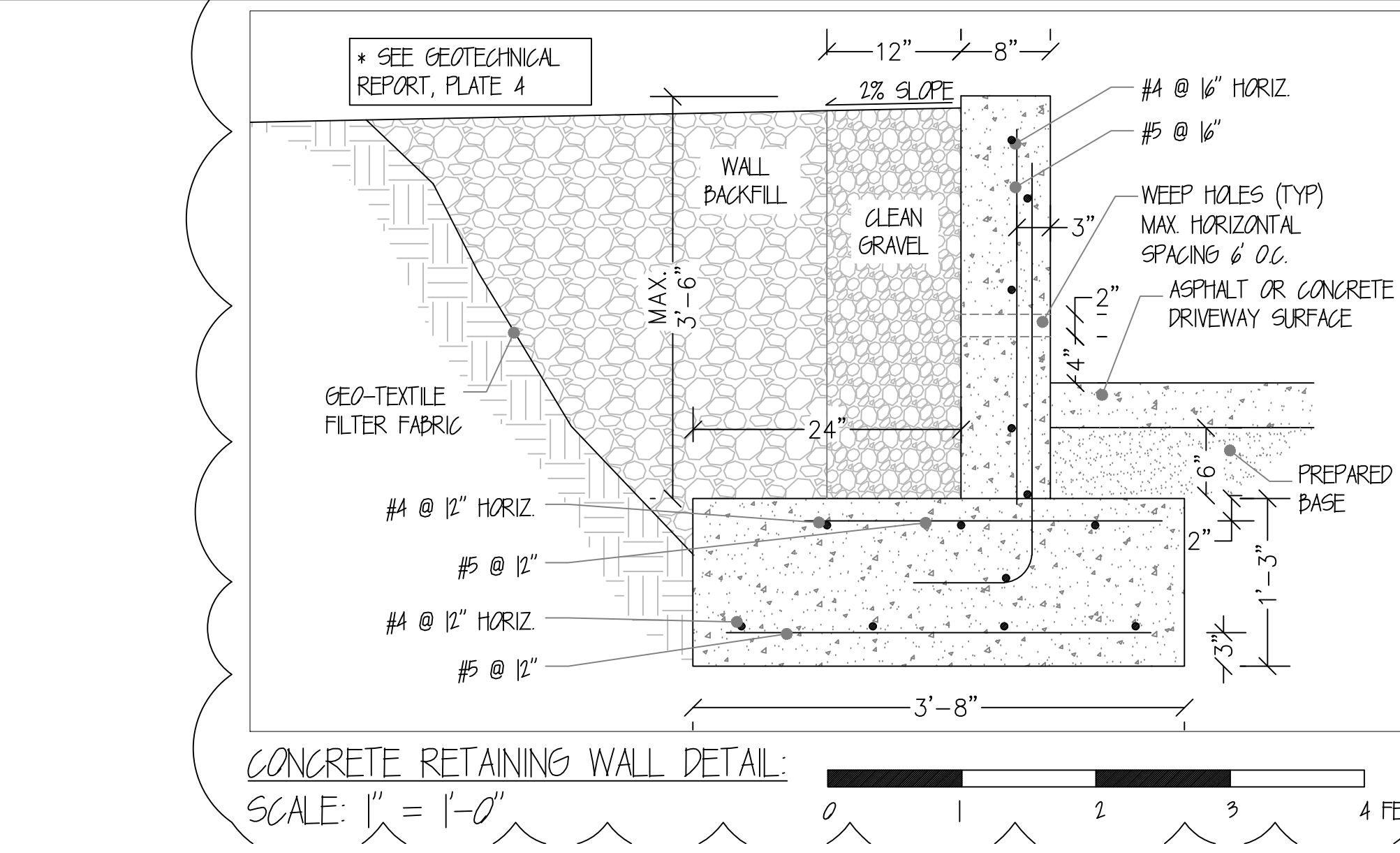
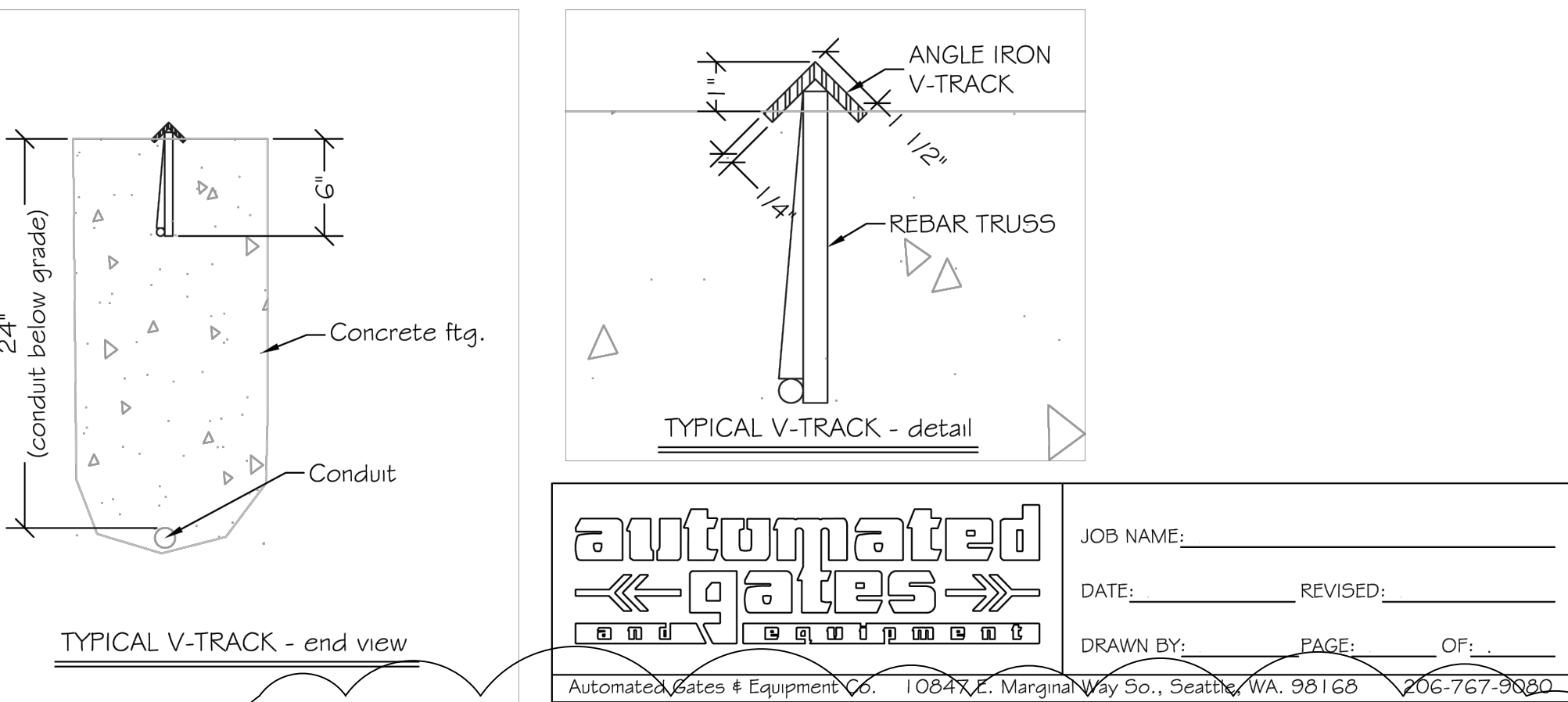
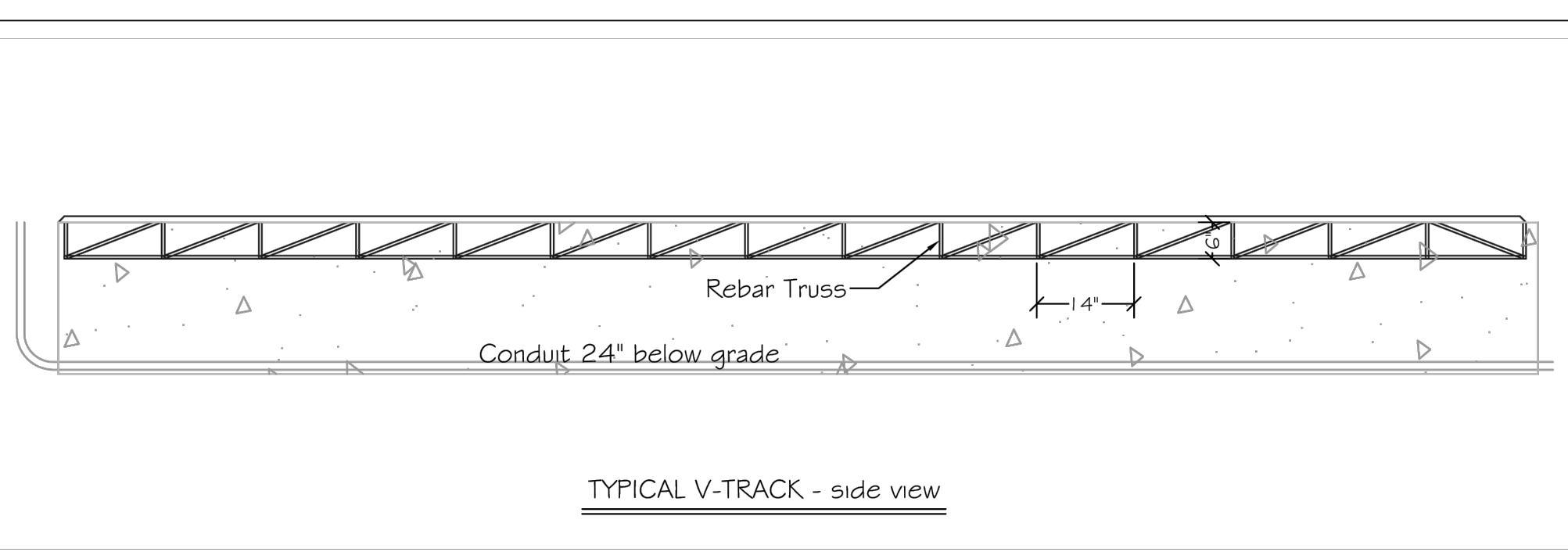
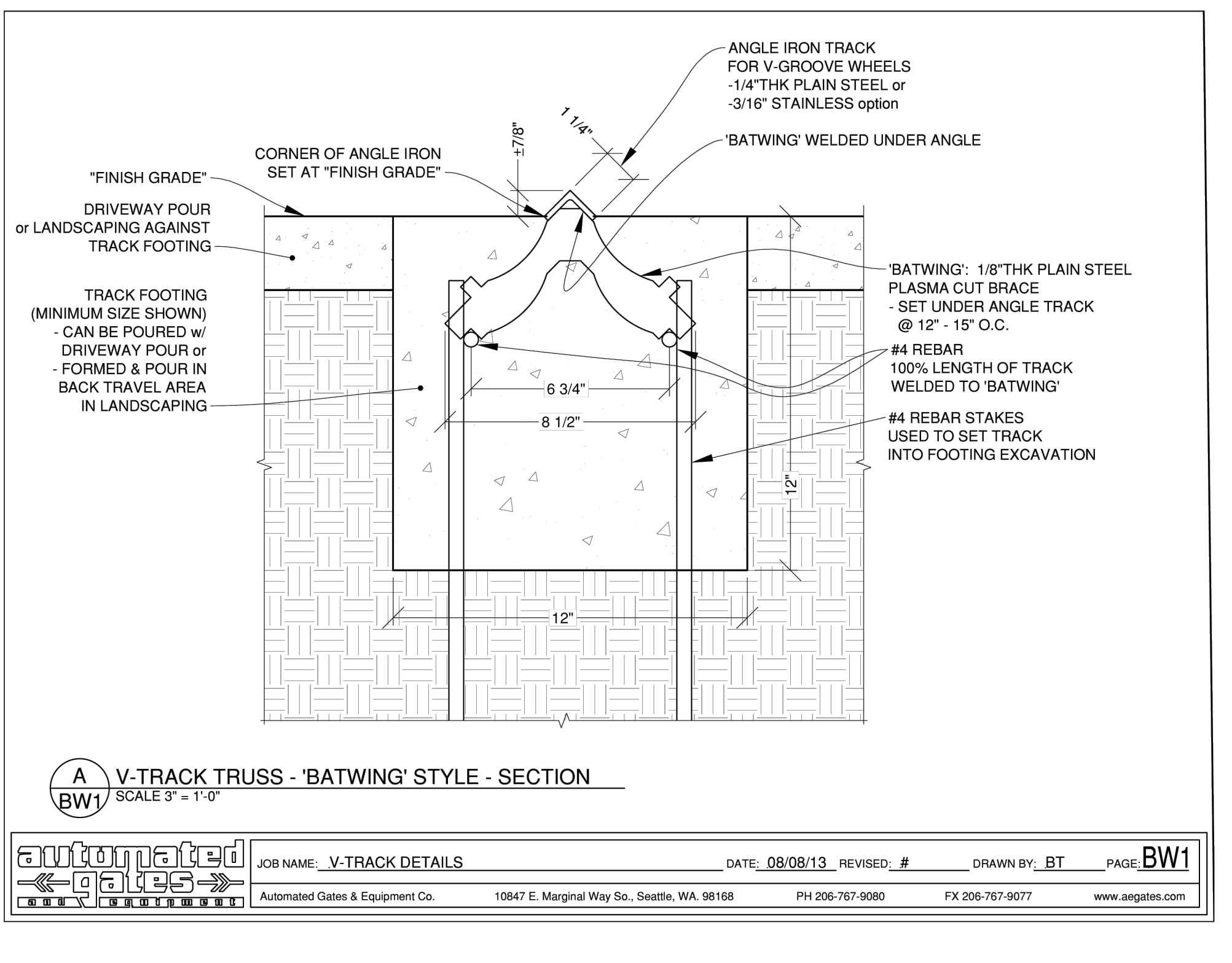


SLIDING GATE ELEVATION:
SCALE: 1/2" = 1'-0"
0 2 4 6 FEET



SLIDING GATE STANDARD DETAILS:
N.T.S.



GATE NOTES:
1. Refer to Landscape Site Plan sheet L.1 for layout and location of gates and keypad.
2. All hardware TBD by gate contractor: Automated Gates & Equipment.
3. Electrical permitting by gate contractor.

GATE NOTES

- WHERE A SINGLE GATE IS PROVIDED, THE GATE WIDTH SHALL BE NOT LESS THAN 20 FEET (6096 MM). WHERE A FIRE APPARATUS ROAD CONSISTS OF A DIVIDED ROADWAY, THE GATE WIDTH SHALL BE NOT LESS THAN 12 FEET (3658 MM). A GATE LESS THAN 20-FEET IN WIDTH MAY BE APPROVED IF ONLY SERVING A SINGLE RESIDENCE, PROVIDED IT IS PROTECTED BY A FIRE SPRINKLER SYSTEM OR ADDITIONAL FIRE PROTECTION MEASURES ARE ADDED.
- GATES SHALL BE OF THE SWINGING OR SLIDING TYPE.
- GATES LOCATED ON A MAIN ARTERIAL SHALL HAVE PROVISIONS FOR FIRE APPARATUS TO PULL COMPLETELY OFF THE ROADWAY. (CLICK-TO-ENTER MAY BE CONSIDERED IF SPACE IS NOT AVAILABLE)
- CONSTRUCTION OF GATES SHALL BE OF MATERIALS THAT ALLOW MANUAL OPERATION BY ONE PERSON.
- GATE COMPONENTS SHALL ALWAYS BE MAINTAINED IN AN OPERATIVE CONDITION AND REPLACED OR REPAIRED WHEN DEFECTIVE.
- ELECTRIC GATES SHALL BE EQUIPPED WITH A MEANS OF OPENING THE GATE BY FIRE DEPARTMENT PERSONNEL FOR EMERGENCY ACCESS. EMERGENCY OPENING DEVICES SHALL BE APPROVED BY THE FIRE CODE OFFICIAL. A KNOX KEY SWITCH, KNOX BOX, OR CLICK 2 ENTER SYSTEM IS REQUIRED.
- METHODS OF LOCKING SHALL BE SUBMITTED FOR APPROVAL BY THE FIRE CODE OFFICIAL.
- ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.
- GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2200.

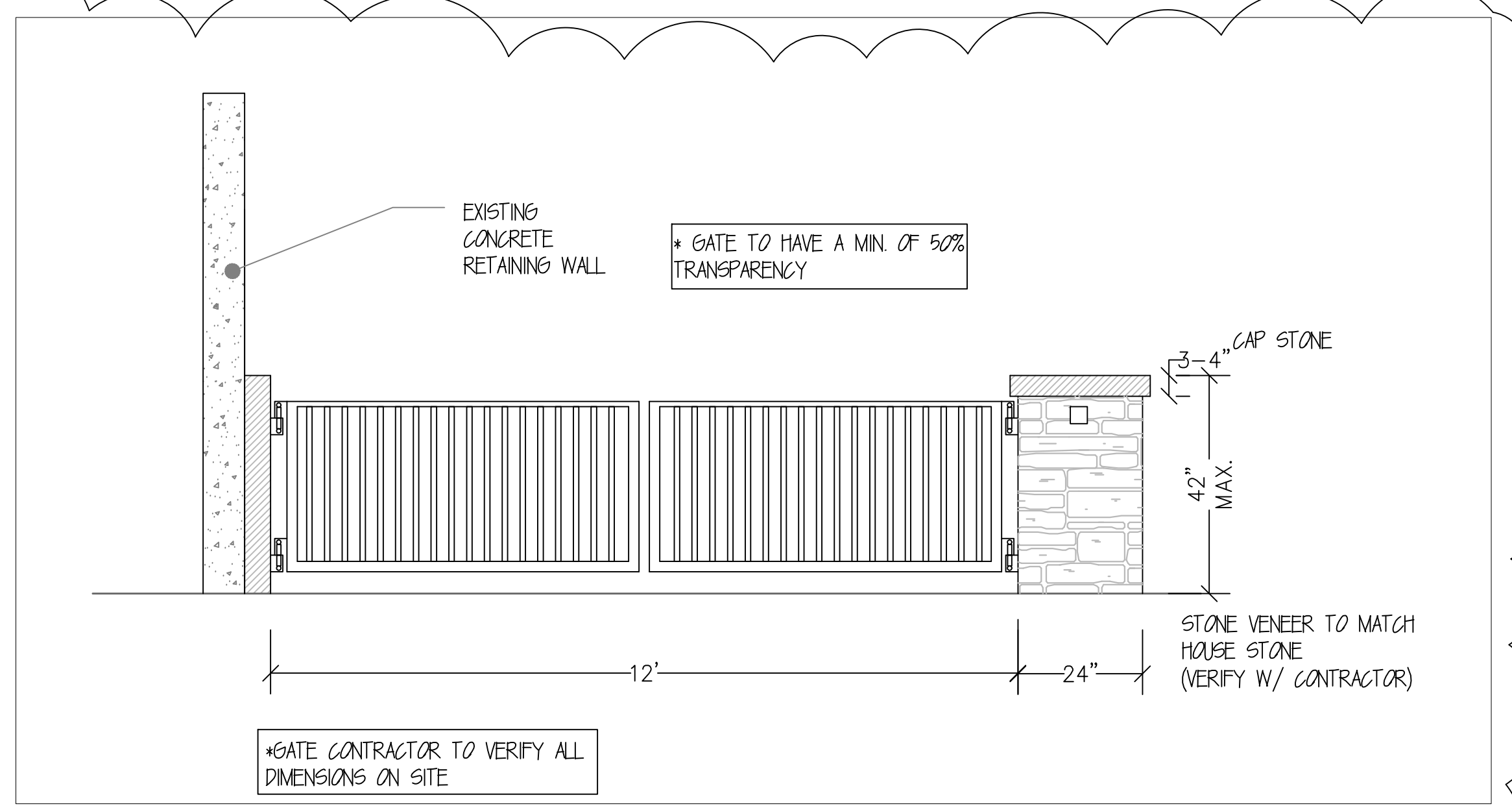
CABRERA TRUST
4634 EAST MERCER WAY
MERCER ISLAND, WA 98040
PROJECT # 2507-100

SLIDING AUTO GATE & CONCRETE RETAINING WALL DETAIL

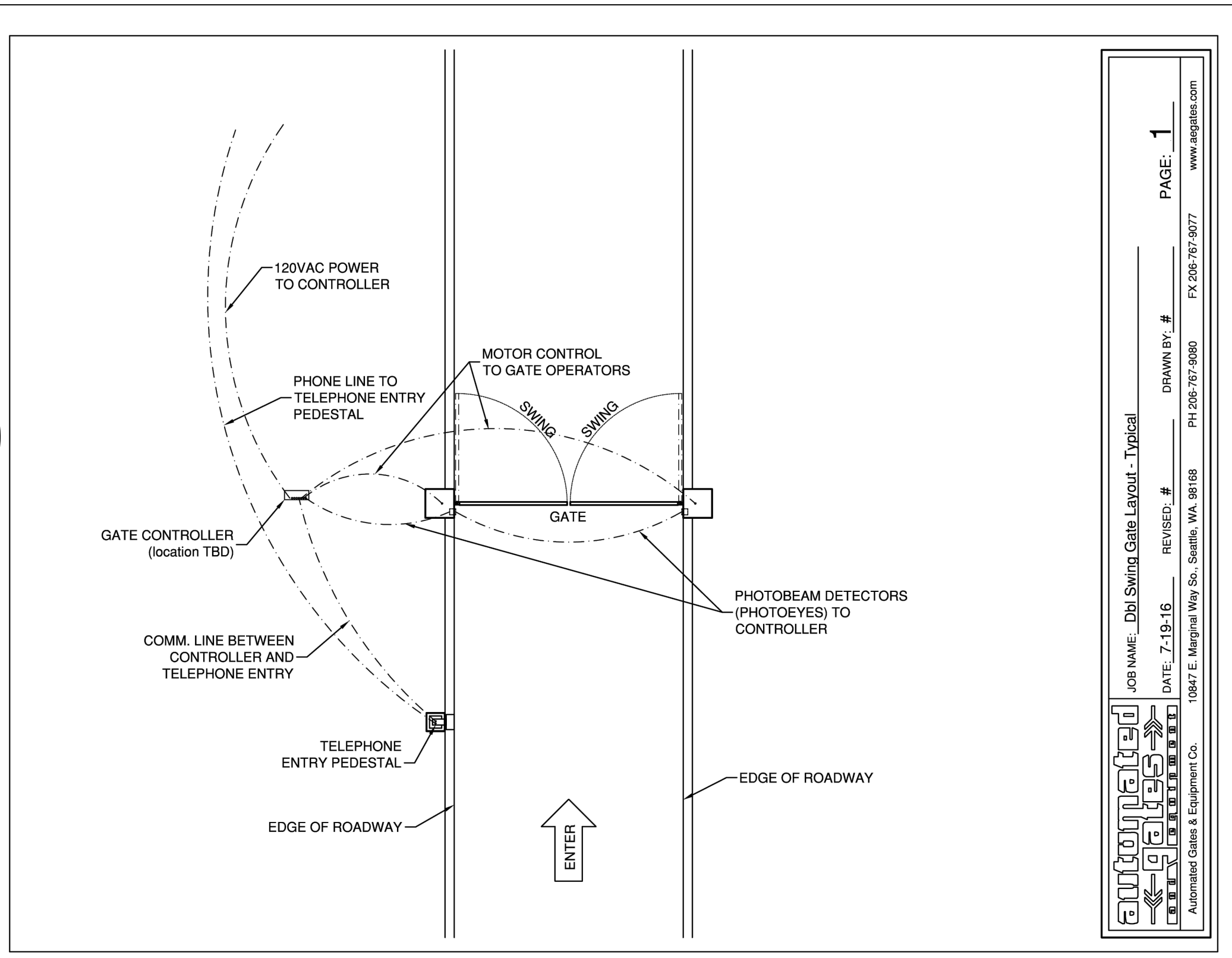
DRAWN BY: CS, AB
REVISION DATE: 10/13/2025

L2.1

GATE NOTES:
 1. Refer to Landscape Site Plan sheet L1.0 for layout and location of gates and keypads.
 2. All hardware TBD by gate contractor: Automated Gates & Equipment.
 3. Electrical permitting by gate contractor.



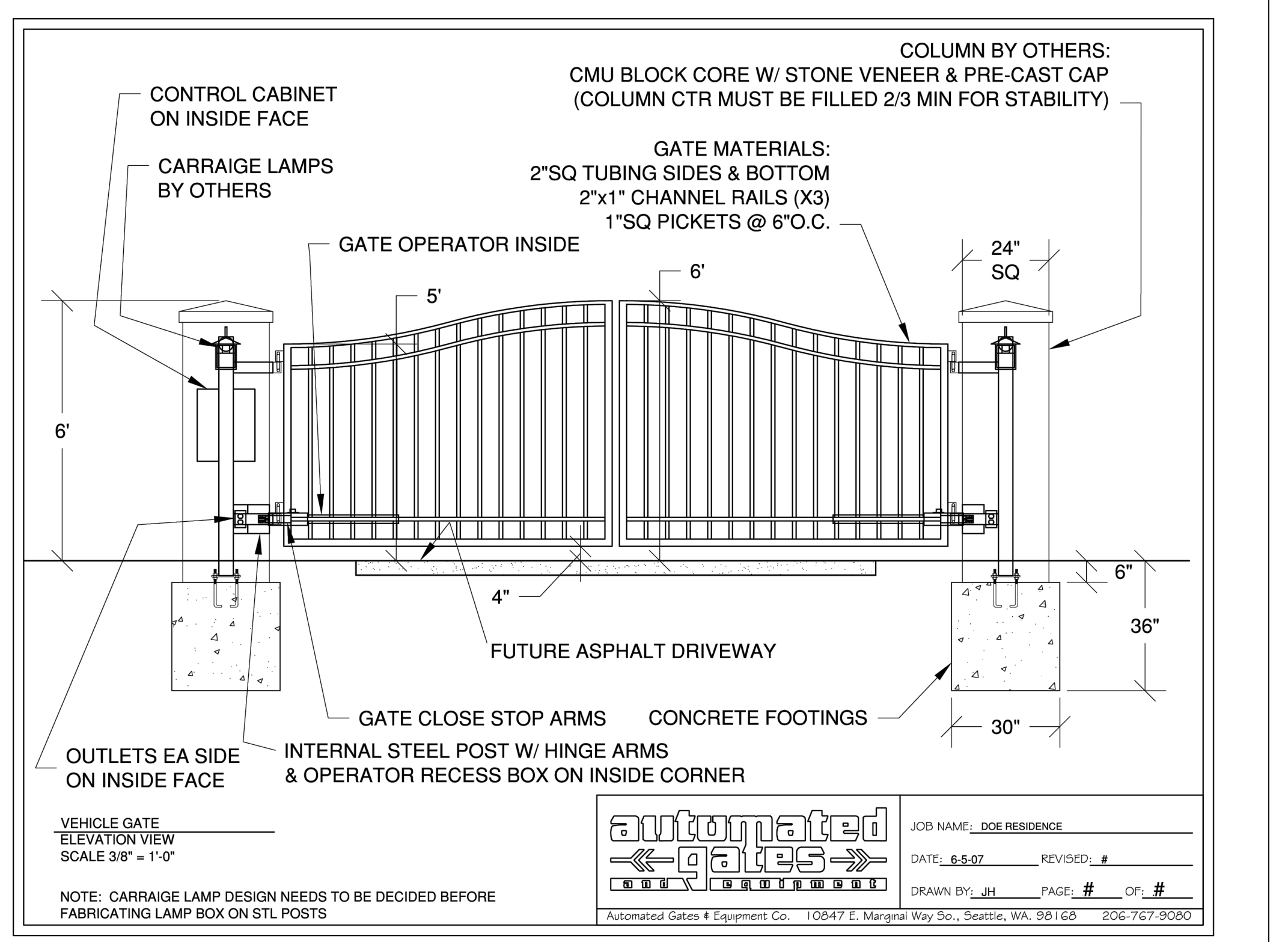
SWING GATE ELEVATION/ COLUMN DETAIL:
 SCALE: 1/2" = 1'-0"
 0 2 4 6 FEET



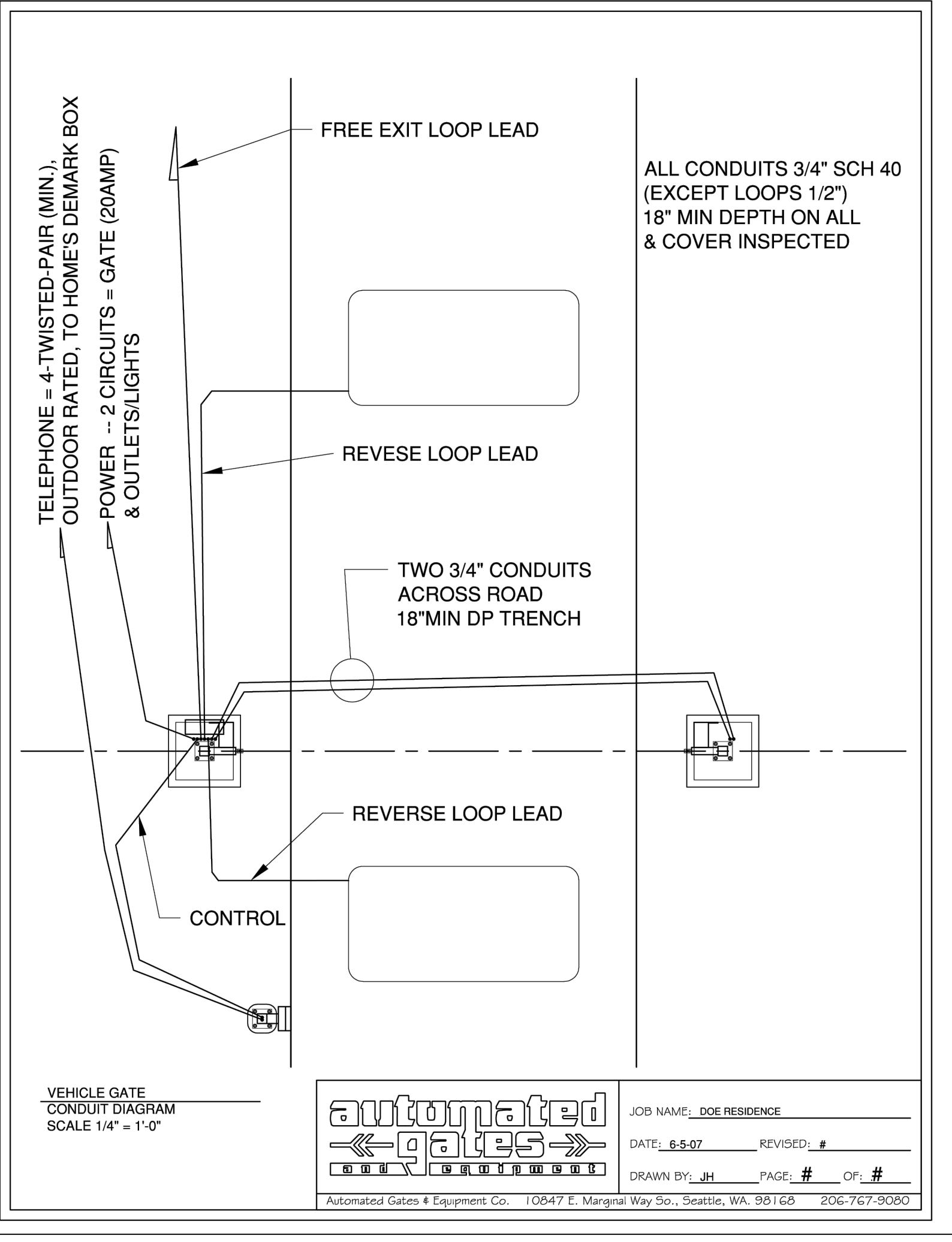
STANDARD LAYOUT OF DOUBLE SWING GATE:
 N.T.S.

GATE NOTES

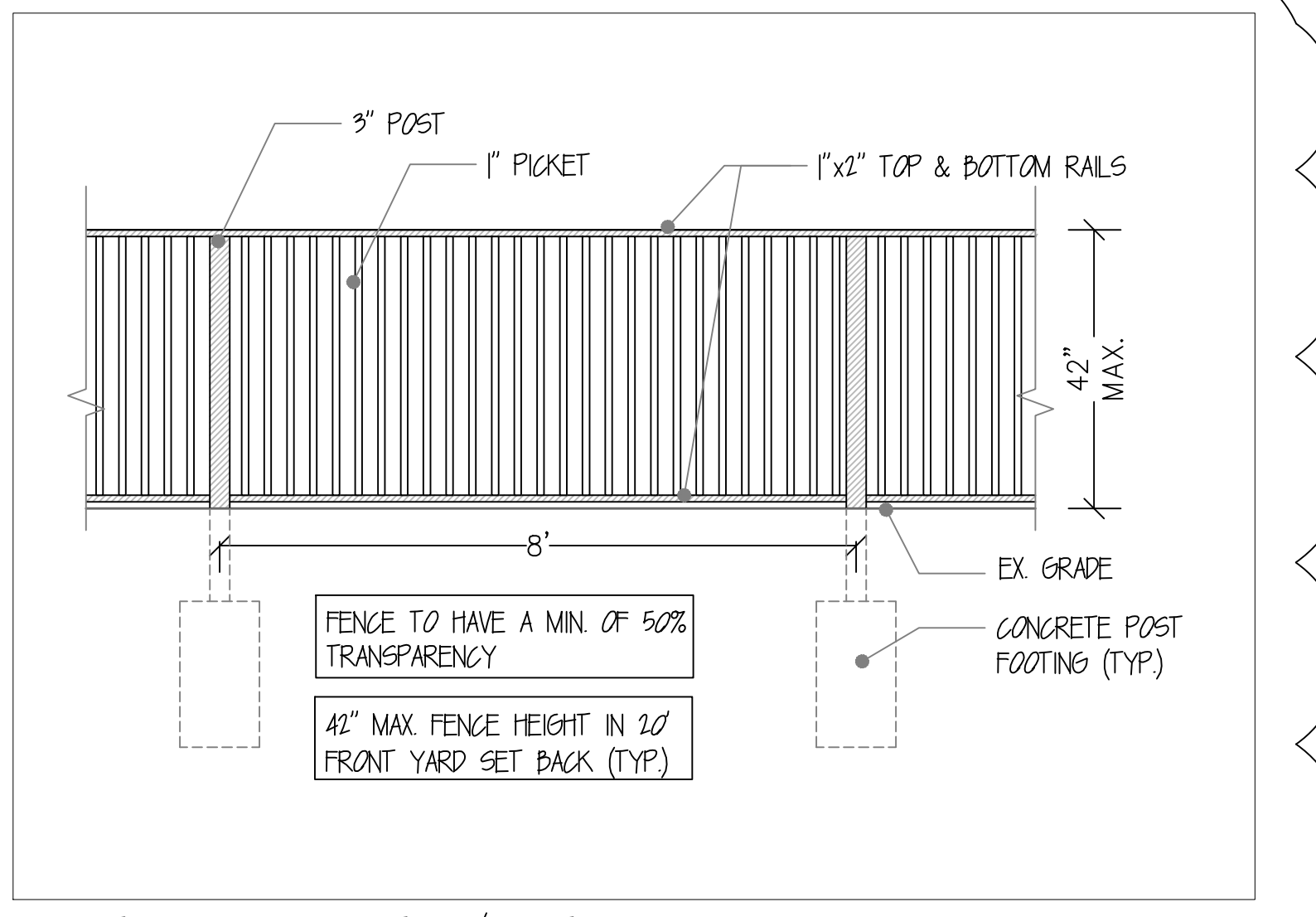
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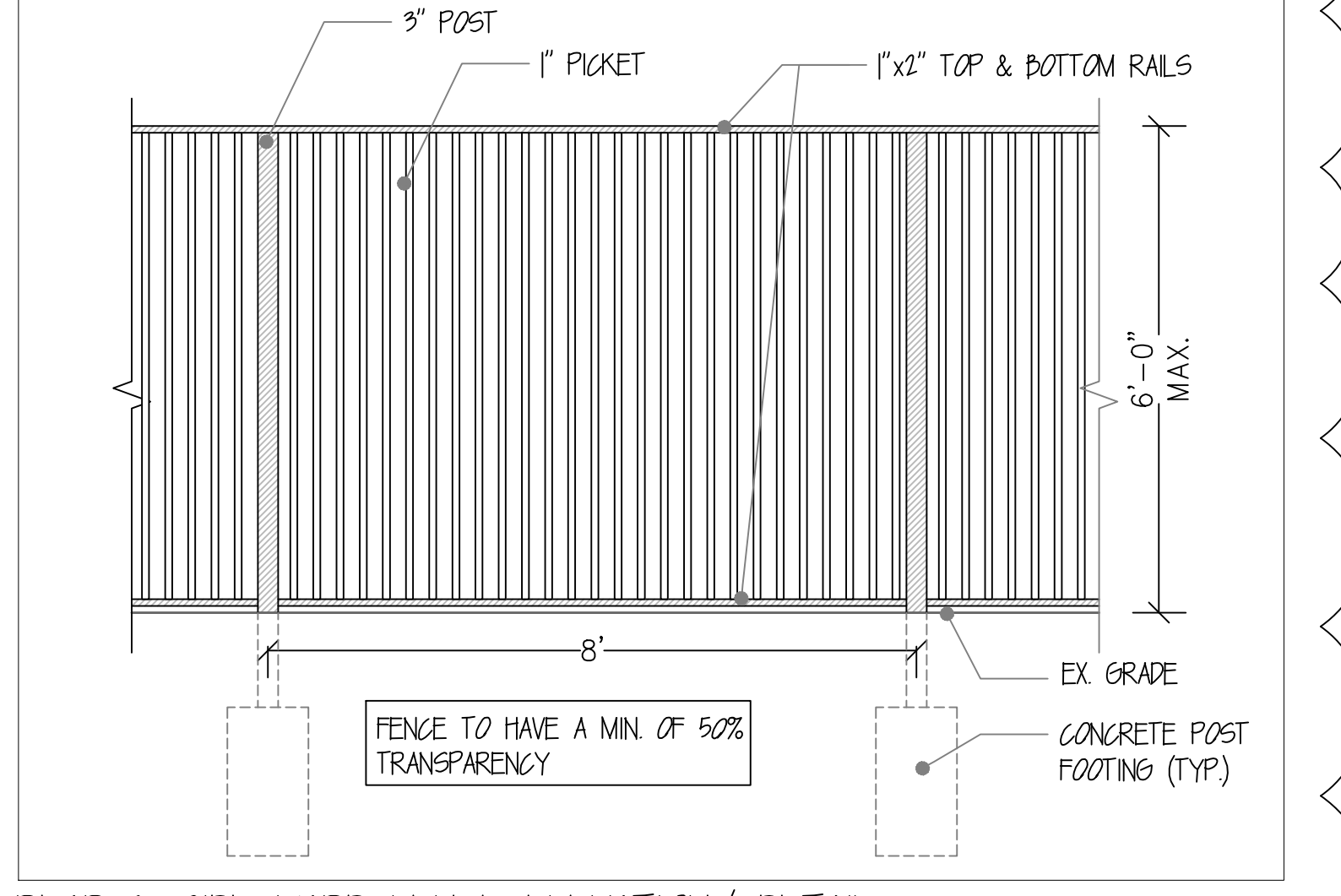
STANDARD ELEVATION OF DOUBLE SWING GATE:
 N.T.S.



STANDARD LAYOUT GATE FUNCTION:
 N.T.S.



FRONT FENCE ELEVATION/ DETAIL:
 SCALE: 1/2" = 1'-0"
 0 2 4 6 FEET



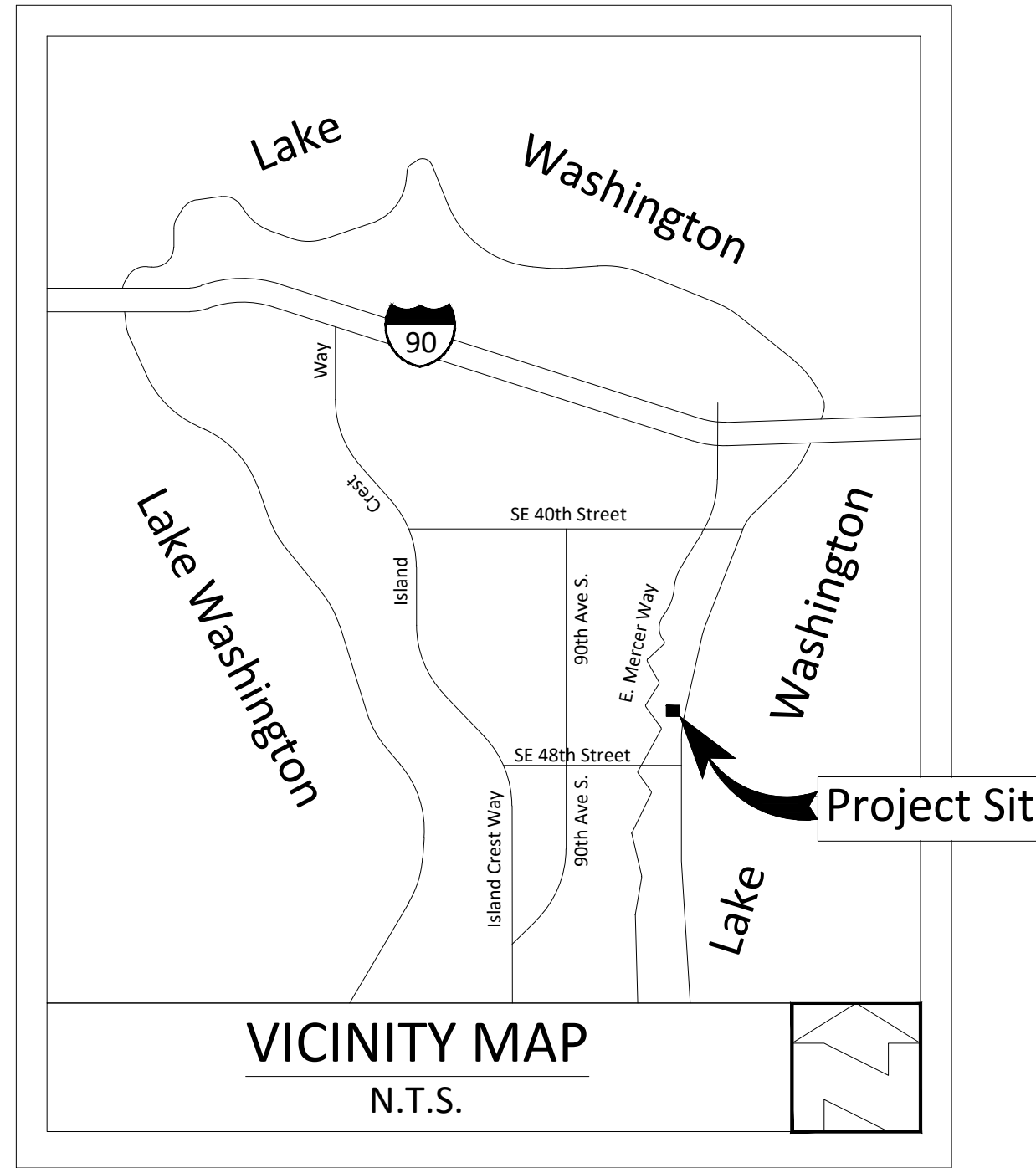
REAR & SIDE YARD FENCE ELEVATION/ DETAIL:
 SCALE: 1/2" = 1'-0"
 0 2 4 6 FEET

CABRERA TRUST
 4634 EAST MERCER WAY
 MERCER ISLAND, WA 98040
 PROJECT # 2507-100

DOUBLE SWING AUTO GATE & FENCE DETAILS

DRAWN BY: CS, AB
 REVISION DATE: 10/13/2025

S1/2 OF THE SE1/4 OF SECTION 18, TOWNSHIP 24 NORTH, RANGE 05 EAST, W.M.
KING COUNTY, WASHINGTON



CONSTRUCTION REQUIREMENTS - GENERAL

- All improvements shall be installed pursuant to plans approved by the City in accordance with the approved construction schedule.
- All construction shall conform to the Standards and Specifications of the City of Mercer Island, conditions of permits issued, the geotechnical evaluation recommendations and construction plans accepted by the City. The Engineer of record may be required to monitor the construction, erosion control, site stabilization measures and provide inspection reports to the City Engineer that document all of the work performed.
- The season for clearing, grading and the construction of utilities, storm drainage facilities, roadways and retaining walls shall not begin until April 1, and shall end by October 1 of any year, unless otherwise approved by the Code Official and City Engineer.
- All improvements shall be constructed in a manner that protects trees to be saved and retains as much natural vegetation as possible.
- The type of equipment to be used for land clearing and roadway and utilities construction shall be defined at the pre-construction conference with the City. The necessary development and ROW Use permits shall be obtained prior to moving equipment onto the site.
- The City Engineer may require that certain improvements be hand dug.
- The City may require that specific clearing, grading, excavation, or sensitive construction work be evaluated and detailed by a geotechnical engineer. As a condition for completion of the work, the City may require that the engineer be present during the work to monitor and review site conditions, and to recommend appropriate special construction techniques or mitigating measure.
- All damage to adjacent properties or public rights of way resulting from construction (e.g., situation, mud, water runoff, roadway damage caused by construction equipment or hauling) shall be expeditiously mitigated and repaired by the contractor, at their expense. Failure to mitigate and repair said damage, or to comply with the accepted construction plans, the permits issued by the City, or the City requirement for corrective action shall be cause for the issuance of a "Stop Work" order, foreclosure on the plat performance guarantee, and/or other measures deemed appropriate by the City Engineer.
- Following construction, the geotechnical engineer shall submit a letter to the City containing the following statements: This construction has been completed substantially in accordance with recommendations contained within the geotechnical investigation and evaluation report and made in connection with our on-site monitoring of the activities.
- Following construction, the project civil engineer shall submit a letter to the City containing the following statement: This construction has been completed substantially in accordance with recommendations contained within the storm drainage technical information report, approved plan set, and our on-site monitoring of the activities.
- The Developer shall submit as-built drawings surveyed by a Washington State Licensed Professional Land Surveyor of all utility lines, storm drain stubs, water service lines, and detailed side sewer stubs or connections to the municipal sewage collection system for each lot prior to final inspection. As-Built plan should be provided in hardcopy, AutoCAD, DXF, and PDF format to be incorporated into the City's GIS system.

PRE-CONSTRUCTION REQUIREMENTS

Prior to commencement of construction, including clearing and grading, the following shall occur:

- All requisite permits shall be obtained.
- Traffic Control Plan and ROW Permit approved by the City.
- Developer shall provide a performance guarantee in accordance with MICC 19.01.060 and 19.09.040.
- Pre-construction conference held with the developer/contractor.
- Developer/contractor shall submit a detailed construction schedule itemizing all major activities.
- Provide videotape or photo documentation of existing road, access easements and right of way within 1/4 mile of the site to the City showing pre-construction conditions. The burden of proof rests with the applicant to prove that any public facility damage was a pre-existing condition or was caused by another party. Any damage to public facilities deemed the responsibility of the applicant as determined by the City Engineer shall be restored at the applicant's cost.
- Tree protection measures must be in place and inspected before any work on site is started. No trees SHALL BE CUT WITHOUT A TREE PERMIT.
- Provide a statement, in substantially the following form signed by the developer's geotechnical engineer, shall be included on the construction plans when required by the City Engineer.
I have reviewed the construction plans prepared by _____ dated _____ for conformance with the geotechnical evaluation and recommendations contained within my geotechnical report dated _____. It is my opinion that the recommendations presented in my soil report have been incorporated into the above referenced plans in accordance with my intent.

I do certify that our firm:

- Has been retained by the developer to monitor the construction for compliance with the recommendations and implementation measures contained in my geotechnical report.
- Will, if deemed necessary by the City, provide, in a timely manner, additional construction recommendations and suggested construction modifications; and
- Will promptly submit monitoring information and any recommendations to the City Engineer and Code Official for review.

Project Owner,

Name: Cabrera Trust
Address: 4634 E. Mercer Way
Mercer Island, WA 98040

Project Contact,

Name: Chip Ragen
Address: 517 E. Pike Street
Seattle, WA 98122
Phone: (206) 793 - 0949
Email: chip@ragenassociates.com

Project Engineer,

Name: Mazen Haidar, PE
Company: Pacific Land Engineering
Address: SE 18th Street
Bellevue, WA 98005
Phone: (425) 615 - 6160
Email: mazen@pacificlandwa.com

Project Surveyor,

Name: Sam Ward, PLS
Company: APS, Surveying and Mapping
Address: 13221 E 26th Street, Suite A
Bellevue, WA 98005
Phone: (425) 746 - 3200
Email: samw@apssm.com

HORIZONTAL DATUM:

THE HORIZONTAL CONTROL IS BASED ON THE MONUMENTATION SURROUNDING THE SITE AND ESTABLISHED IN NAD83/2011 WASHINGTON STATE PLANE COORDINATES, NORTH ZONE, EXPRESSED IN U.S. SURVEY FEET, GROUND DISTANCES.

VERTICAL DATUM:

NAVD 88

CONTOUR INTERVAL - 1 FOOT:

THE CONTOURS SHOWN HEREON WERE COMPUTER GENERATED FROM DIRECT FIELD OBSERVATIONS WITH RESULTING ACCURACY THAT MEETS OR EXCEEDS NATIONAL MAPPING STANDARDS, ONE-HALF THE CONTOUR INTERVAL.

PROJECT BENCHMARKS:

TOP OF IRON PIPE & CAP, REFERENCING THE NW CORNER OF TAX PARCEL 755870-0008, AS SHOWN HEREON
ELEVATION = 93.27'

TOP OF IRON PIPE & CAP WITH TACK, REFERENCING THE POINT OF TANGENCY OF A CURVE ALONG THE EAST PROPERTY LINE OF TAX PARCEL 755870-0008, AS SHOWN HEREON
ELEVATION = 72.65'

GENERAL NOTES:

- THE PURPOSE OF THIS SURVEY IS TO SHOW THE EXISTING SITE IMPROVEMENTS, NATURAL FEATURES, AND EXISTING TERRAIN FOR A PORTION OF TAX PARCEL 755870-0008, IN KING COUNTY, FOR THE INTENDED USE OF ARCHITECTURAL AND CIVIL ENGINEERING DESIGN.
- THIS SURVEY WAS PERFORMED USING TRIMBLE R12I GNSS RECEIVERS IN CONJUNCTION WITH A TRIMBLE S SERIES, 3" TOTAL STATION WITH RESULTING ACCURACY THAT MEETS OR EXCEEDS STANDARDS PER WAC 332-130-090.
- THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN MARCH AND MAY 2025 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS, ENCUMBRANCES AND RESTRICTIONS MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
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LEGAL DESCRIPTION:

PER STATUTORY WARRANTY DEED AFN: 2022123000677

PARCEL A:

LOT B, CITY OF MERCER ISLAND SHORT PLAT NO. 76-12-036, RECORDED JANUARY 6, 1977 UNDER RECORDING NO. 7701060821, RECORDS OF KING COUNTY, WASHINGTON;

PARCEL B:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER, UPON AND ACROSS ALL EXISTING ROADS AS DISCLOSED IN DEED RECORDED APRIL 4, 1949, UNDER RECORDING NO. 3889721;

PARCEL C:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS AS DELINEATED ON THE FACE OF CITY OF MERCER ISLAND SHORT PLAT NUMBER 76-12-036 RECORDED UNDER RECORDING NO. 7701060821, RECORDS OF KING COUNTY, WASHINGTON.

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

REFERENCES:

- STATUTORY WARRANTY DEED
AFN: 2022123000677
- SHORT PLAT 76-12-036
AFN: 7701060821
- UNRECORDED AS-BUILT SURVEY
BY APS SURVEY & MAPPING DATED
5/27/15, JOB NO. 1294.002

SHEETS INDEX

- | | |
|---------|---|
| C - 1.0 | Cover Sheet Plan. |
| C - 2.0 | Existing Site Conditions Plan. |
| C - 3.0 | Developed Site Conditions Plan. |
| C - 4.0 | Temporary Erosion and Sedimentation Control Plan. |
| C - 5.0 | Grading and Drainage Pan. |
| C - 6.0 | Standards Notes and Specifications Plan. |

Revisions	No.	Date	By

CABRERA PROPERTY

Cover Sheet Plan

Plan Plotted For :
Second Submittal

PACIFIC LAND ENGINEERING
Civil Engineering, Development Services, Land Use Consulting, Permit Expediting Services, Inspection Services, Expert Witness
Bellevue, WA - www.pacificlandwa.com
info@pacifilandwa.com (425) 615-6160



Date: 09 / 30 / 2025
STAMP IS NOT VALID UNLESS SIGNED AND DATED

Job Number: 250515-PL-2503

CITY OF MERCER ISLAND APPROVAL

DATE: _____

CODE OFFICIAL: _____

DATE: _____

CITY ENGINEER: _____

DWG Date: 09 / 30 / 2025

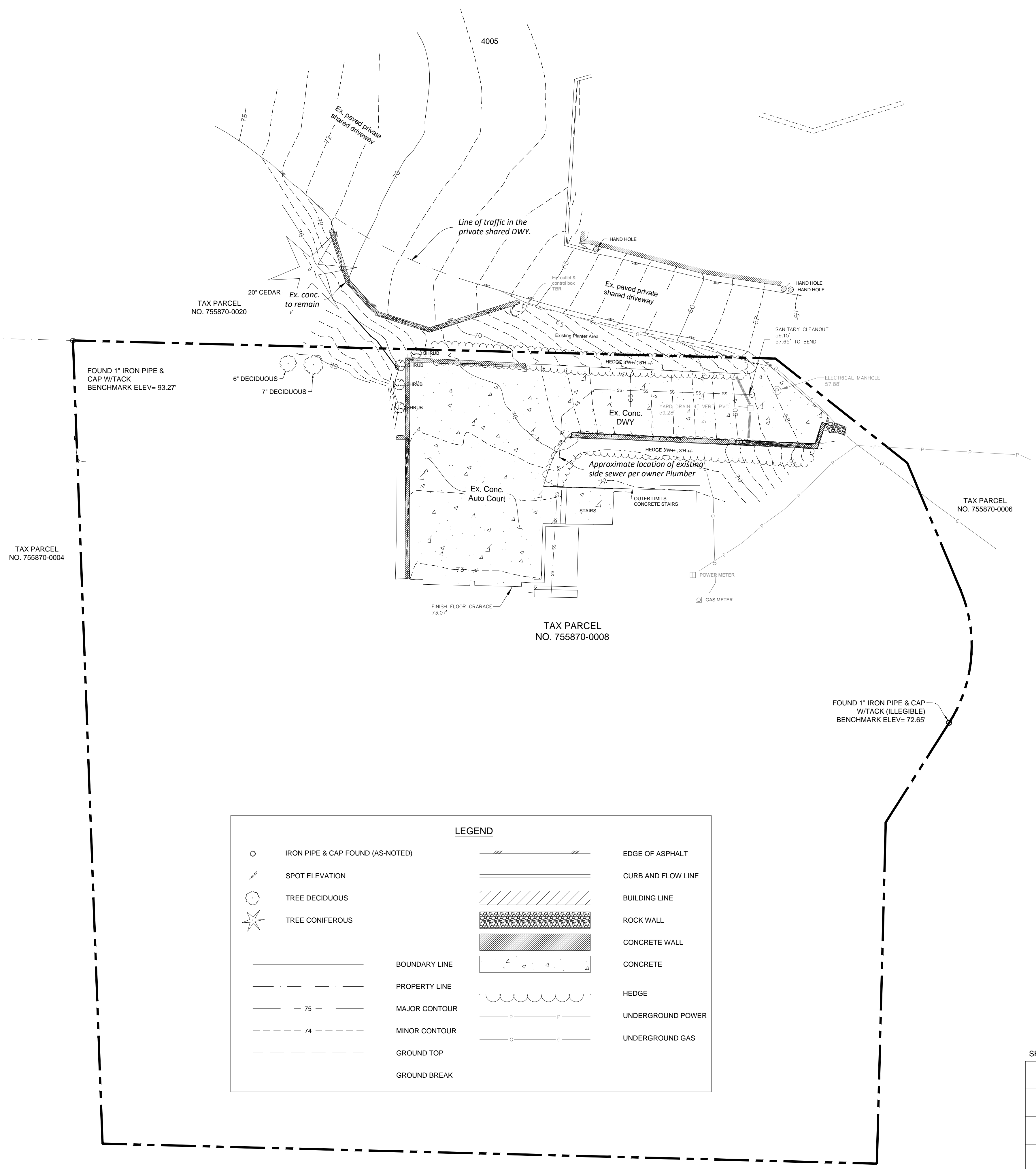
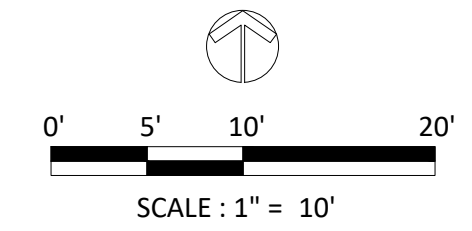
Sheet No.

C - 1.0

OF

C - 6.0

S1/2 OF THE SE1/4 OF SECTION 18, TOWNSHIP 24 NORTH, RANGE 05 EAST, W.M.
KING COUNTY, WASHINGTON



LEGEND	
○	IRON PIPE & CAP FOUND (AS-NOTED)
•	SPOT ELEVATION
○	TREE DECIDUOUS
★	TREE CONIFEROUS
—	BOUNDARY LINE
- - -	PROPERTY LINE
- 75 -	MAJOR CONTOUR
- 74 -	MINOR CONTOUR
- - -	GROUND TOP
- - -	GROUND BREAK
=====	EDGE OF ASPHALT
=====	CURB AND FLOW LINE
=====	BUILDING LINE
=====	ROCK WALL
=====	CONCRETE WALL
=====	CONCRETE
=====	HEDGE
=====	UNDERGROUND POWER
=====	UNDERGROUND GAS

HORIZONTAL DATUM:

THE HORIZONTAL CONTROL IS BASED ON THE MONUMENTATION SURROUNDING THE SITE AND ESTABLISHED IN NAD83/2011 WASHINGTON STATE PLANE COORDINATES, NORTH ZONE, EXPRESSED IN U.S. SURVEY FEET, GROUND DISTANCES.

VERTICAL DATUM:

NAVD 88

CONTOUR INTERVAL - 1 FOOT:

THE CONTOURS SHOWN HEREON WERE COMPUTER GENERATED FROM DIRECT FIELD OBSERVATIONS WITH RESULTING ACCURACY THAT MEETS OR EXCEEDS NATIONAL MAPPING STANDARDS, ONE-HALF THE CONTOUR INTERVAL.

PROJECT BENCHMARKS:

TOP OF IRON PIPE & CAP, REFERENCING THE NW CORNER OF TAX PARCEL 755870-0008, AS SHOWN HEREON ELEVATION = 93.27'

TOP OF IRON PIPE & CAP WITH TACK, REFERENCING THE POINT OF TANGENCY OF A CURVE ALONG THE EAST PROPERTY LINE OF TAX PARCEL 755870-0008, AS SHOWN HEREON ELEVATION = 72.65'

GENERAL NOTES:

1. THE PURPOSE OF THIS SURVEY IS TO SHOW THE EXISTING SITE IMPROVEMENTS, NATURAL FEATURES, AND EXISTING TERRAIN FOR A PORTION OF TAX PARCEL 755870-0008, IN KING COUNTY, FOR THE INTENDED USE OF ARCHITECTURAL AND CIVIL ENGINEERING DESIGN.
2. THIS SURVEY WAS PERFORMED USING TRIMBLE R121 GNSS RECEIVERS IN CONJUNCTION WITH A TRIMBLE S SERIES, 3" TOTAL STATION WITH RESULTING ACCURACY THAT MEETS OR EXCEEDS STANDARDS PER WAC 332-130-090.
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PER STATUTORY WARRANTY DEED AFN: 20221230000677

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LOT B, CITY OF MERCER ISLAND SHORT PLAT NO. 76-12-036, RECORDED JANUARY 6, 1977 UNDER RECORDING NO. 7701060821, RECORDS OF KING COUNTY, WASHINGTON;

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PARCEL C:

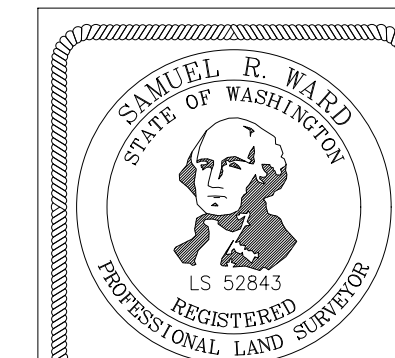
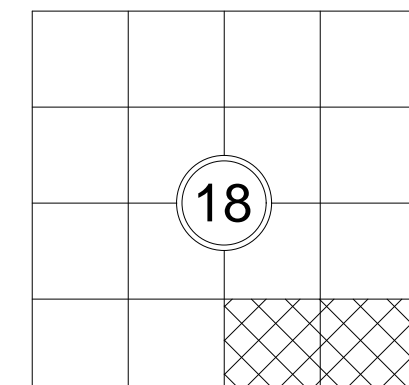
A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS AS DELINEATED ON THE FACE OF CITY OF MERCER ISLAND SHORT PLAT NUMBER 76-12-036 RECORDED UNDER RECORDING NO. 7701060821, RECORDS OF KING COUNTY, WASHINGTON.

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

REFERENCES:

- R1. STATUTORY WARRANTY DEED
AFN: 20221230000677
- R2. SHORT PLAT 76-12-036
AFN: 7701060821
- R3. UNRECORDED AS-BUILT SURVEY
BY APS SURVEY & MAPPING DATED
5/27/15, JOB NO. 1294.002

INDEX LOCATION
SEC. 18, T.24N., R.05E., W.M.



CITY OF MERCER ISLAND APPROVAL

DATE: _____
 CODE OFFICIAL: _____
 DATE: _____
 CITY ENGINEER: _____



Revisions	No.	Date	By

CABRERA PROPERTY
Existing Site Conditions Plan

Plan Plotted For:
Second Submittal

PACIFIC LAND ENGINEERING
 Civil Engineering, Development Services, Land Use Consulting, Surveying, Inspection Services, Inspection Services, Expert Witness
 Bellevue, WA - www.pacificlandeng.com
 info@pacificlandeng.com (206) 815-0100



Date: 09/30/2025
 STAMP IS NOT VALID UNLESS SIGNED AND DATED

Job Number:	250515-PL-2503
DWG Date:	09/30/2025
Sheet No.	C - 2.0
	OF
	C - 6.0

HORIZONTAL DATUM:

THE HORIZONTAL CONTROL IS BASED ON THE MONUMENTATION SURROUNDING THE SITE AND ESTABLISHED IN NAD83/2011 WASHINGTON STATE PLANE COORDINATES, NORTH ZONE, EXPRESSED IN U.S. SURVEY FEET, GROUND DISTANCES.

VERTICAL DATUM:

NAVD 88

CONTOUR INTERVAL - 1 FOOT:

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PER STATUTORY WARRANTY DEED AFN: 20221230000677

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PARCEL C:

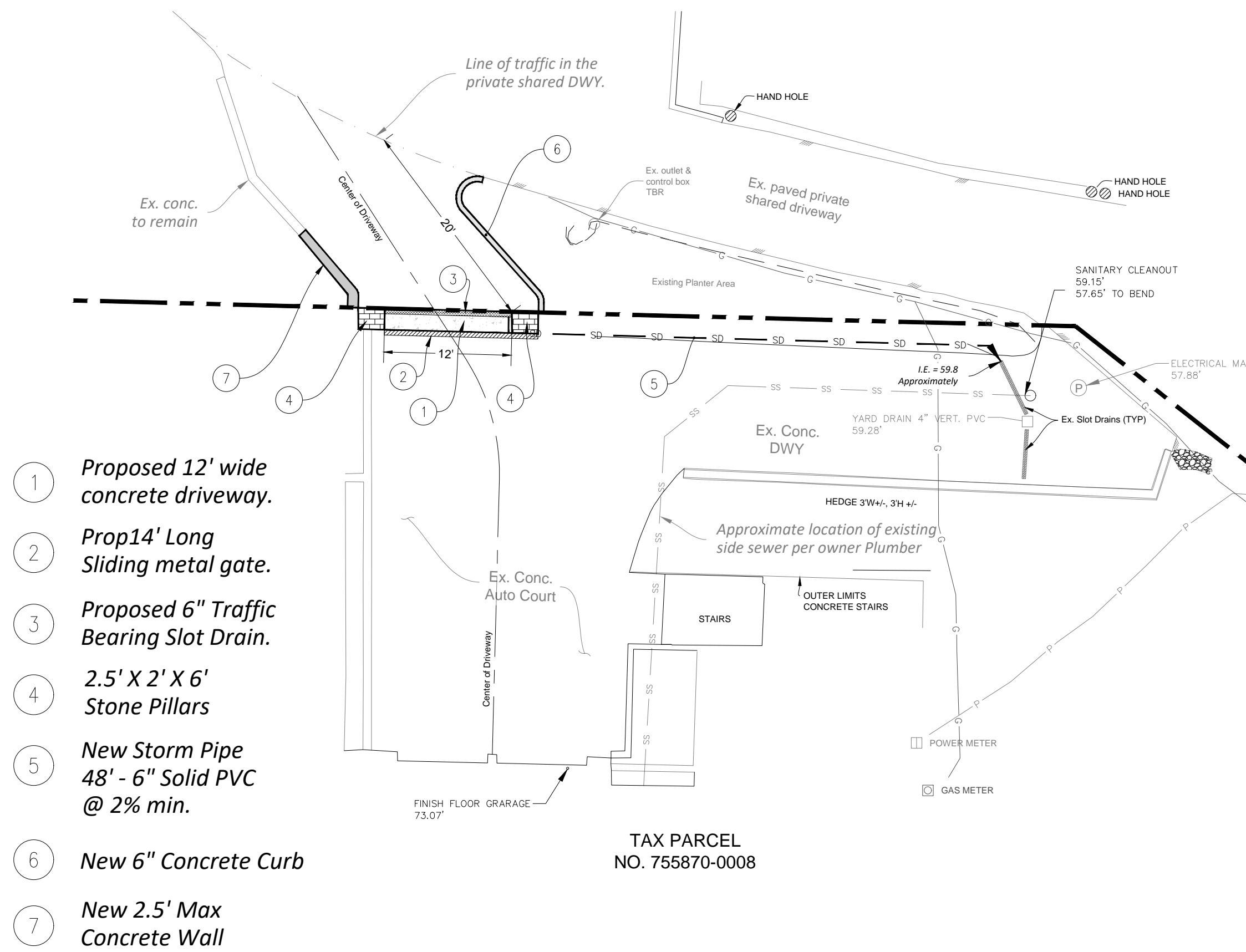
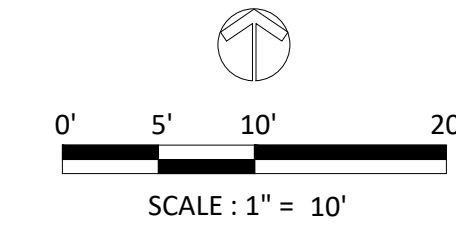
A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS AS DELINEATED ON THE FACE OF CITY OF MERCER ISLAND SHORT PLAT NUMBER 76-12-036 RECORDED UNDER RECORDING NO. 7701060821, RECORDS OF KING COUNTY, WASHINGTON.

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

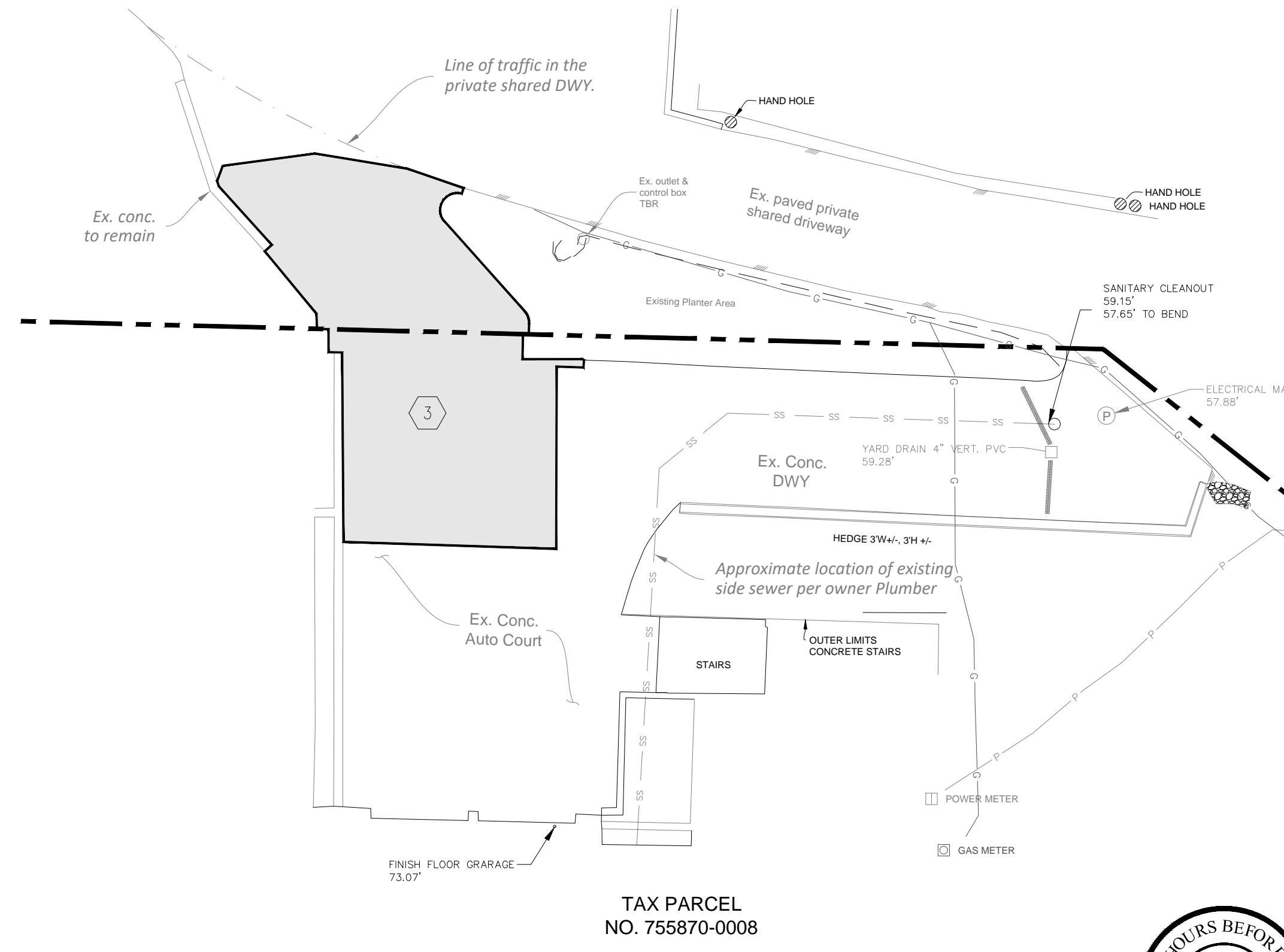
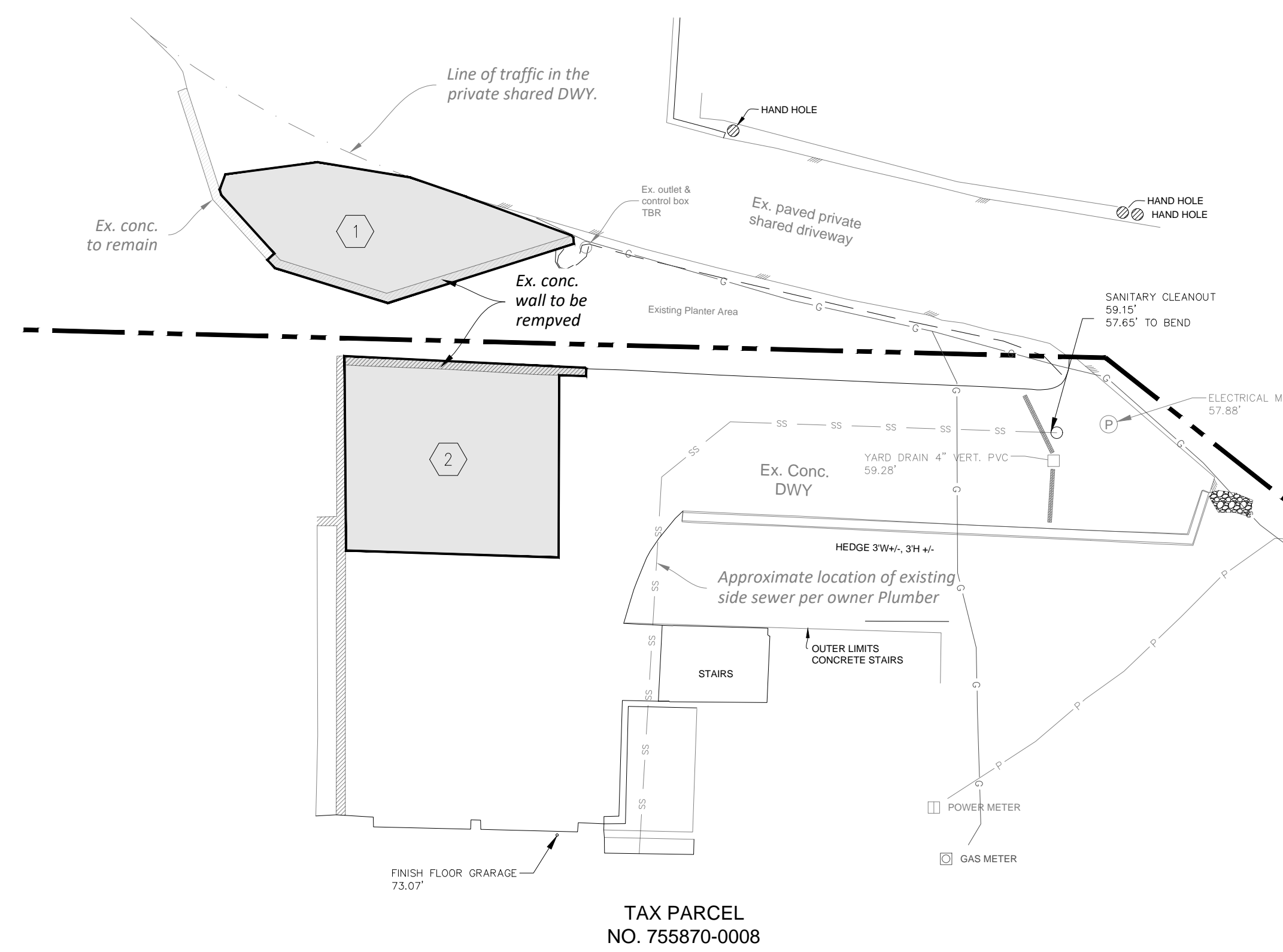
REFERENCES:

- R1. STATUTORY WARRANTY DEED AFN: 20221230000677
- R2. SHORT PLAT 76-12-036 AFN: 7701060821
- R3. UNRECORDED AS-BUILT SURVEY BY APS SURVEY & MAPPING DATED 5/27/15, JOB NO. 1294.002

S1/2 OF THE SE1/4 OF SECTION 18, TOWNSHIP 24 NORTH, RANGE 05 EAST, W.M.
KING COUNTY, WASHINGTON



LEGEND	
	IRON PIPE & CAP FOUND (AS-NOTED)
	SPOT ELEVATION
	TREE DECIDUOUS
	TREE CONIFEROUS
	BOUNDARY LINE
	PROPERTY LINE
	MAJOR CONTOUR
	MINOR CONTOUR
	GROUND TOP
	GROUND BREAK
	EDGE OF ASPHALT
	CURB AND FLOW LINE
	BUILDING LINE
	ROCK WALL
	CONCRETE WALL
	CONCRETE
	HEDGE
	UNDERGROUND POWER
	UNDERGROUND GAS



Impervious Area Calculations.

- 1 Existing 222.79 s.f. of Impervious surface to be removed.
- 2 Existing 313.19 s.f. of Impervious surface to be removed.
- 3 New Impervious Surface to be added = 609.84 s.f.

Total Existing Impervious Surface to be removed = 535.98 s.f.

Total New Impervious to be Added = 609.84 s.f. à

Net Increase of Impervious surface = 609.84 - 535.98 = 73.86 s.f. < 500.0 s.f. à

Full Drainage Review is not required.

Total New + Replaced Impervious Surface = 535.98 s.f. + 609.84 s.f. = 1,145.82 s.f.

1,145.82 s.f. < 2,000.0 s.f. à Full Drainage Review is not required.

CITY OF MERCER ISLAND APPROVAL

DATE: _____

CODE OFFICIAL: _____

DATE: _____

CITY ENGINEER: _____

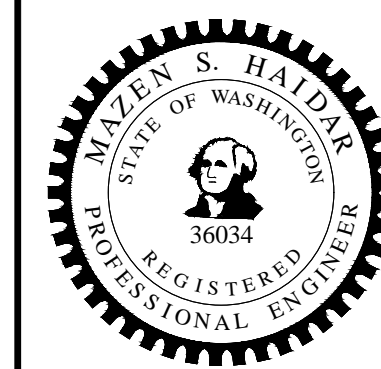


Revisions	No.	Date	By

CABRERA PROPERTY
Developed Site Conditions Plan

Plan Plotted For:
Second Submittal

PACIFIC LAND ENGINEERING
Civil Engineering, Development Services, Land Use Consulting, Inspection Services, Surveying, Permit Expediting Services, Expert Witness
Bellevue, WA - www.pacificlandeng.com
PACIFIC LAND ENGINEERING, INC. IS AN EQUAL OPPORTUNITY EMPLOYER. WE DO NOT DISCRIMINATE ON THE BASIS OF RACE, GENDER, RELIGION, NATIONAL ORIGIN, ANCESTRY, COLOR, SEX, AGE, MARITAL STATUS, DISABILITY, OR ANY OTHER PROTECTED CLASSIFICATION. WE ARE AN AFFIRMATIVE ACTION EMPLOYER.



Date: 09/30/2025
STAMP IS NOT VALID UNLESS SIGNED AND DATED

Job Number: 250515-PL-2503

DWG Date: 0/30/2025

Sheet No. C - 3.0

OF C - 6.0

S1/2 OF THE SE1/4 OF SECTION 18, TOWNSHIP 24 NORTH, RANGE 05 EAST, W.M. KING COUNTY, WASHINGTON

HORIZONTAL DATUM:

THE HORIZONTAL CONTROL IS BASED ON THE MONUMENTATION SURROUNDING THE SITE AND ESTABLISHED IN NAD83/2011 WASHINGTON STATE PLANE COORDINATES, NORTH ZONE, EXPRESSED IN U.S. SURVEY FEET, GROUND DISTANCES.

VERTICAL DATUM:

NAVD 88

CONTOUR INTERVAL - 1 FOOT:

THE CONTOURS SHOWN HEREON WERE COMPUTER GENERATED FROM DIRECT FIELD OBSERVATIONS WITH RESULTING ACCURACY THAT MEETS OR EXCEEDS NATIONAL MAPPING STANDARDS, ONE-HALF THE CONTOUR INTERVAL.

PROJECT BENCHMARKS:

TOP OF IRON PIPE & CAP, REFERENCING THE NW CORNER OF TAX PARCEL 755870-0008, AS SHOWN HEREON
ELEVATION = 93.27'

TOP OF IRON PIPE & CAP WITH TACK, REFERENCING THE POINT OF TANGENCY OF A CURVE ALONG THE EAST PROPERTY LINE OF TAX PARCEL 755870-0008, AS SHOWN HEREON
ELEVATION = 72.65'

GENERAL NOTES:

- THE PURPOSE OF THIS SURVEY IS TO SHOW THE EXISTING SITE IMPROVEMENTS, NATURAL FEATURES, AND EXISTING TERRAIN FOR A PORTION OF TAX PARCEL 755870-0008, IN KING COUNTY, FOR THE INTENDED USE OF ARCHITECTURAL AND CIVIL ENGINEERING DESIGN.
- THIS SURVEY WAS PERFORMED USING TRIMBLE R12i GNSS RECEIVERS IN CONJUNCTION WITH A TRIMBLE S SERIES, 3" TOTAL STATION WITH RESULTING ACCURACY THAT MEETS OR EXCEEDS STANDARDS PER WAC 332-130-090.
- THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN MARCH AND MAY 2025 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
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- UTILITIES SHOWN HEREON ARE BASED UPON FIELD OBSERVED ABOVE GROUND EVIDENCE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THE SITE. THE APPROPRIATE AGENCIES SHOULD BE CONTACTED FOR POT-HOLING AND VERIFICATION BEFORE PERFORMING ANY TYPE OF CONSTRUCTION. THE SURVEYOR SHALL NOT BE HELD LIABLE FOR THE LOCATION OF OR THE FAILURE TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES.

LEGAL DESCRIPTION:

PER STATUTORY WARRANTY DEED AFN: 20221230000677

PARCEL A:

LOT B, CITY OF MERCER ISLAND SHORT PLAT NO. 76-12-036, RECORDED JANUARY 6, 1977 UNDER RECORDING NO. 7701060821, RECORDS OF KING COUNTY, WASHINGTON;

PARCEL B:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER, UPON AND ACROSS ALL EXISTING ROADS AS DISCLOSED IN DEED RECORDED APRIL 4, 1949, UNDER RECORDING NO. 3898721;

PARCEL C:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS AS DELINEATED ON THE FACE OF CITY OF MERCER ISLAND SHORT PLAT NUMBER 76-12-036 RECORDED UNDER RECORDING NO. 7701060821, RECORDS OF KING COUNTY, WASHINGTON.

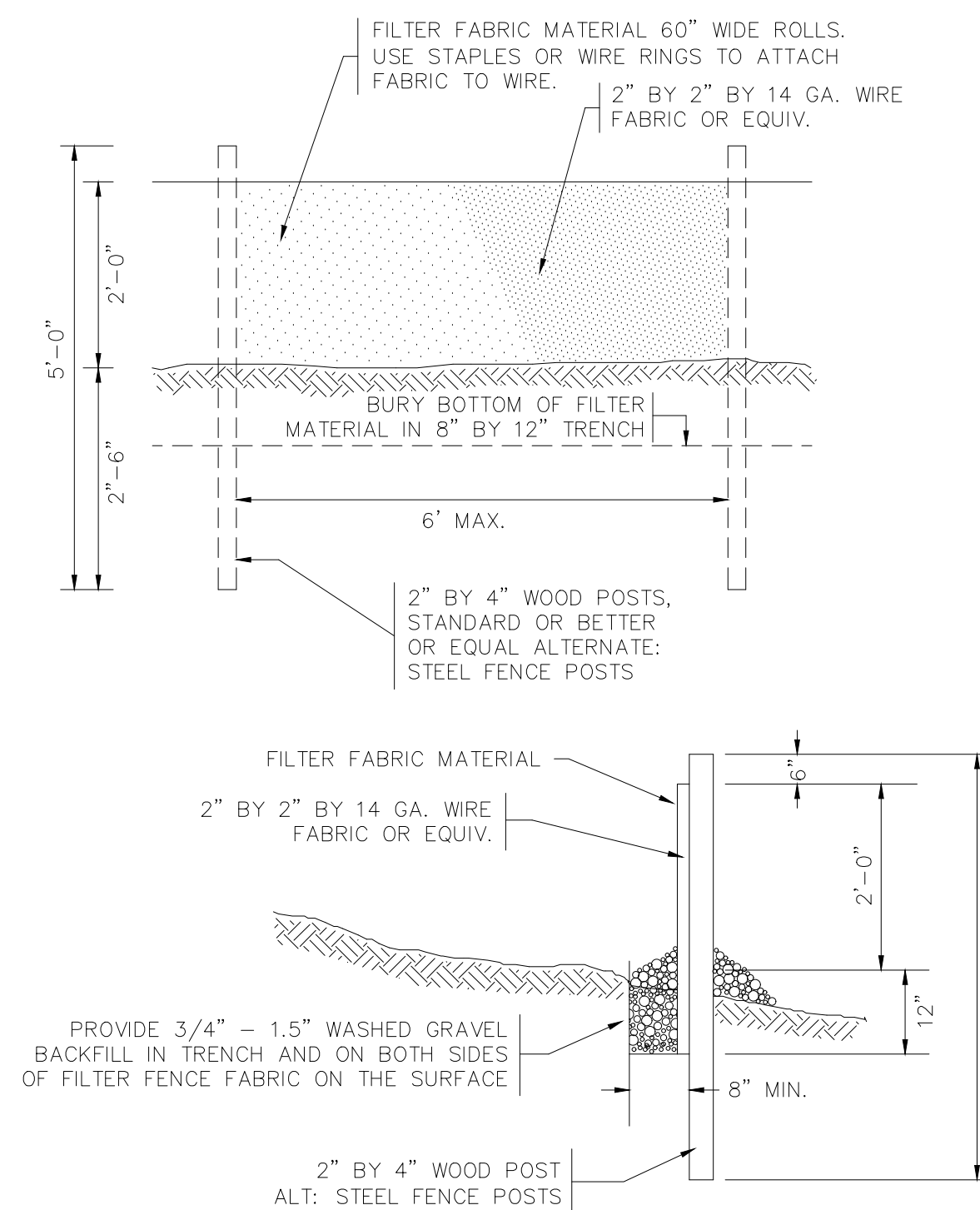
SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

REFERENCES:

- STATUTORY WARRANTY DEED
AFN: 20221230000677
- SHORT PLAT 76-12-036
AFN: 7701060821
- UNRECORDED AS-BUILT SURVEY
BY APS SURVEY & MAPPING DATED
5/27/15, JOB NO. 1294.002

FILTER FABRIC FENCE INSTALLATION NOTES:

- THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST WITH A MINIMUM 6-INCH OVERLAP, AND BOTH ENDS SECURELY FASTENED TO THE POST.
- THE FILTER FABRIC FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS (WHERE FEASIBLE). THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 30 INCHES).
- A TRENCH SHALL BE EXCAVATED, ROUGHLY 8 INCHES WIDE AND 12 INCHES DEEP, UPSLOPE AND ADJACENT TO THE WOOD POST TO ALLOW THE FILTER FABRIC TO BE BURIED.
- WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG, THE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 4 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 20 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
- WHEN EXTRA STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF STANDARD NOTE 5 APPLYING.
- THE TRENCH SHALL BE BACKFILLED WITH 3/4-INCH MINIMUM DIAMETER WASHED GRAVEL.
- FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
- FILTER FABRIC FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.



FILTER FABRIC FENCE DETAIL
NOT TO SCALE

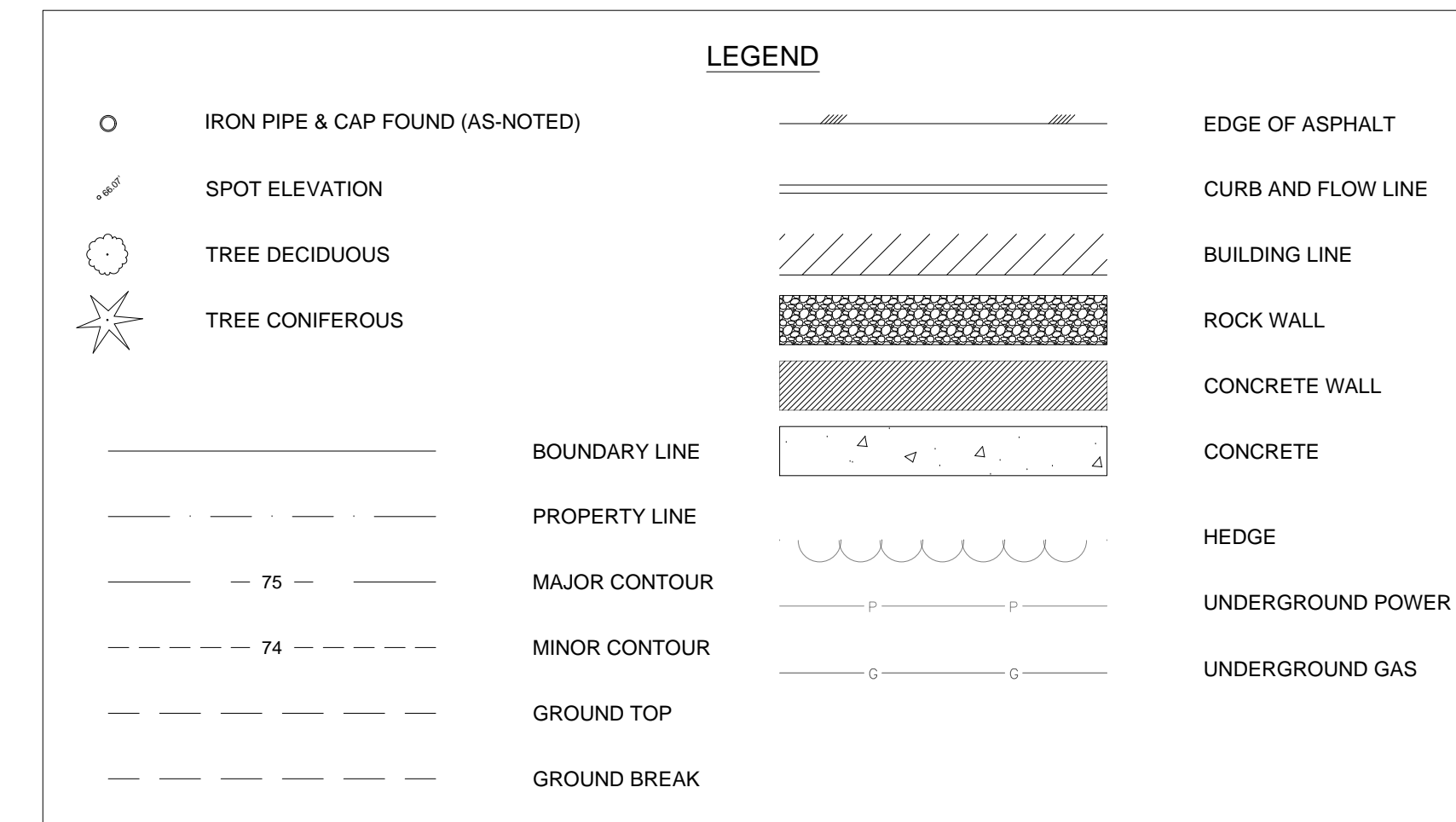
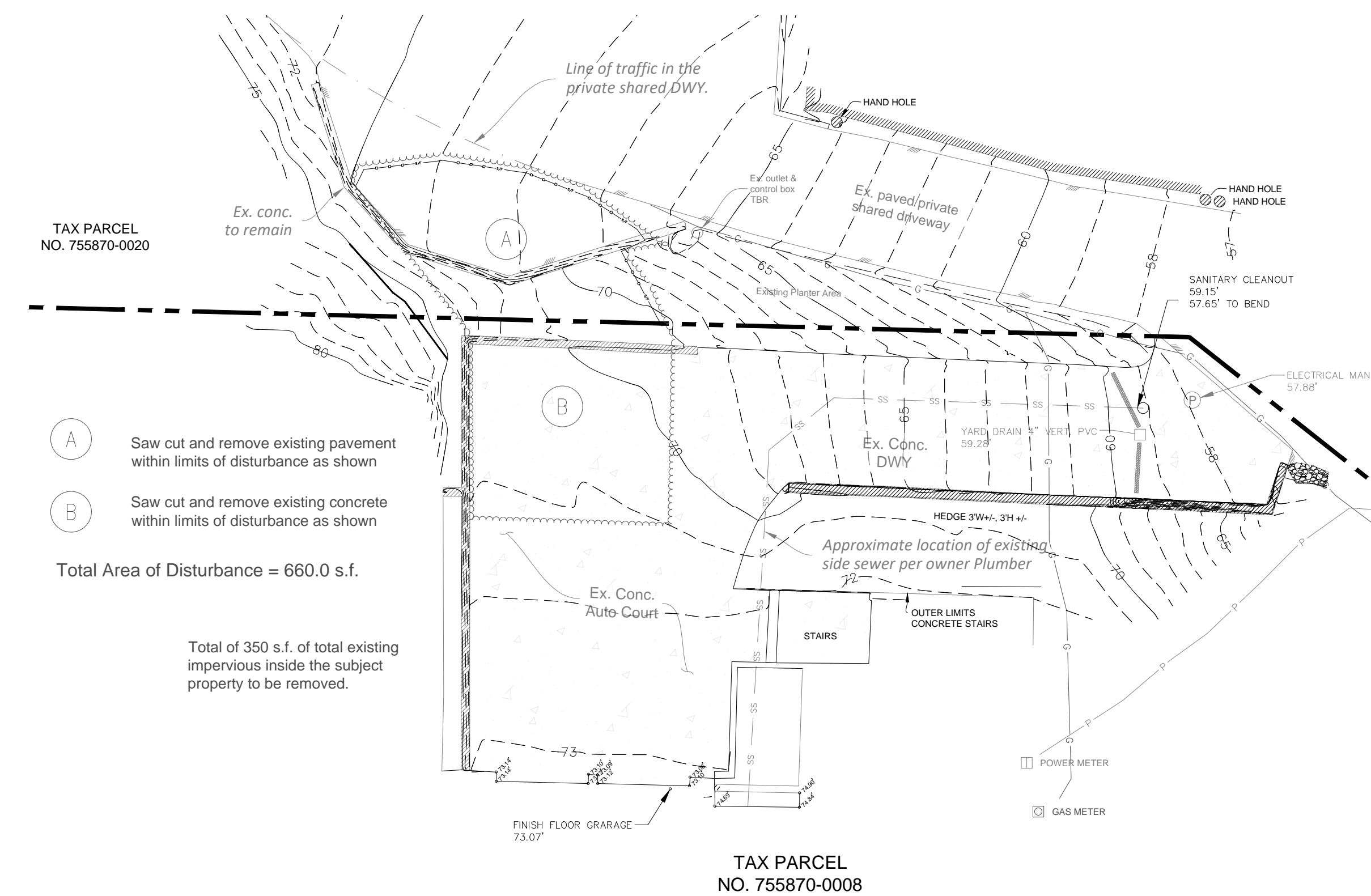
ENGINEER NOTE:

- Prior to the construction start, the project contractor must hold and attend PRE MEETING with the city of Mercer Island Inspector.
- Prior to construction start, the project contractor must prepare and submit Traffic Control Plan to the City of Mercer Island.
- Prior to construction start, the project contractor must verify location of all existing above ground and underground utilities.

RECOMMENDED CONSTRUCTION SEQUENCE:

A recommended construction sequence is provided below:

- Mail written notices of up-coming construction activities to all neighbors within 300' from the subject site.
- Flag / mark all limits of clearing.
- Install Silt Fence measure at clearing limits.
- Flag / mark all trees to be protected.
- Install Trees protection fence around all trees to be protected. Call of city inspection and approval of protected trees protection prior to start of construction of proposed improvements.
- Hold the pre-construction meeting, when and if required by the City of Mercer Island.
- Flag / mark areas of Stock Piles and construction vehicle parking area.
- Post sign with name and phone number of TESC supervisor.
- Install catch basin protection within 100' of the subject project limits.
- Grade and install construction entrance(s).
- Grade and stabilize construction roads.
- Construct surface water controls (interceptor dikes, pipe slope drains, etc.) simultaneously with clearing and grading for project development.
- Maintain erosion control measures in accordance with City of Mercer Island Standards / code requirements, and per manufacturer's recommendations.
- Relocate erosion control measure, or install new measures so that if the site conditions change, the erosion and sediment control is always in accordance with the City of Mercer Island Standards / code requirements.
- Cover all site areas that will be unworked for more than seven days during the dry season or two days during the wet season with straw. Covers can be wood fiber mulch, compost, plastic sheeting, or as approved by city of Mercer Island Inspector.
- Stabilize all site areas within seven days of reaching final grade.
- Seed, sod, stabilize, or cover any areas to remain unworked for more than 30 days.
- Restore all disturbed outside of construction site (if any) to its original conditions.
- Upon completion of the project, stabilize all disturbed areas and remove.
- Call for and obtain final approval from City of Mercer Island Inspector.



Limits of Clearing / Site Disturbance
A = 660.0 s.f.

Silt Fence

Silt fence and Drainage Notes Per Geotechnical Engineer

During demolition and clearing, temporary erosion and sedimentation controls (TESCs) should be installed to prevent the flow of sediment-laden runoff from the site and to minimize the potential for on-site or off-site soil erosion. These controls shall include silt fences, construction barrier fences, coir wattles, berms, interceptor trenches, or other measures as appropriate for the site conditions so that sediment-laden surface runoff is not discharged off the project site.

Concentrated surface water should not be allowed to flow over exposed slopes or into excavations. Water also should not be allowed to stand in any area where footings, slabs, or pavements are to be constructed. Loose surfaces should be sealed at night by compacting them to reduce the potential for moisture infiltration into the soils.

During wet weather, exposed soil surfaces (including excavation slopes) should be covered with plastic sheeting, and stockpiled soils should be covered with plastic sheeting. The water from these areas should be directed toward temporary settlement or collection points for treatment and discharge to an appropriate location for the site conditions.

The temporary erosion and sediment controls should be maintained during the progress of the project until the ground disturbance activities have been completed and the disturbed areas are stabilized.

- Stormwater runoff should not be allowed to develop into concentrated flows on the ground surface, and focused point discharge of stormwater runoff to unpaved or un-armored surfaces should be avoided.

Backfill Notes Per Geotechnical Engineer

All fill material used to achieve design site elevations below retaining walls or driveways should meet the requirements for structural fill. During wet weather conditions, material to be used as structural fill should have the following specifications:

- Be free draining, granular material containing no more than five (5) percent fines (silts and clay-size particles passing a No. 200 mesh sieve);
- Be free of organic material and other deleterious substances, such as construction debris and garbage;
- Have a maximum particle size of three (3) inches in diameter.

Fill material should be placed at or slightly above the optimum moisture content. The optimum moisture content is the water content in soil that enables the soil to be compacted to the greatest dry density for a given compaction effort

Structural fill underneath driveways should be compacted to at least ninety (90) percent of the material's maximum dry density, as determined by ASTM Test Designation D-1557-91 (Modified Proctor Method), except that the top twelve (12) inches of fill should be compacted to at least ninety-five (95) percent of the material's maximum dry density. Structural fill material should be spread and compacted in lifts that are ten (10) inches or less in thickness in an uncompacted state. The compacted fill material should be field tested by using ASTM Designations D2922 and D3017, Nuclear Probe Method, to verify that the required degree of compaction has been achieved.



CITY OF MERCER ISLAND APPROVAL

DATE: _____

CODE OFFICIAL: _____

DATE: _____

CITY ENGINEER: _____

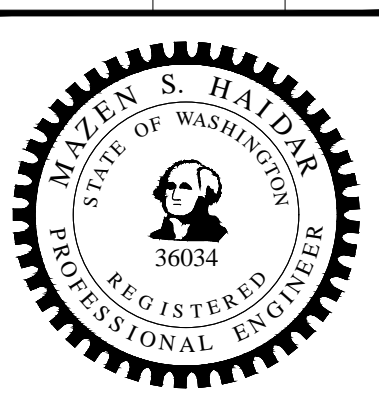
Revisions No.	Date	By

CABRERA PROPERTY

Temporary Erosion and Sedimentation (TESC) Plan

Plan Plotted For:
Second Submittal

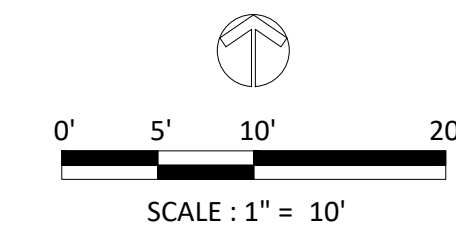
PACIFIC LAND ENGINEERING
Civil Engineering, Development Services, Land Use Consulting
Inspection Services, Inspection Services, Expert Witness
Permit Expediting Services
Bellevue, WA - www.pacificlandeng.com
info@pacificlandeng.com (425) 875-0769



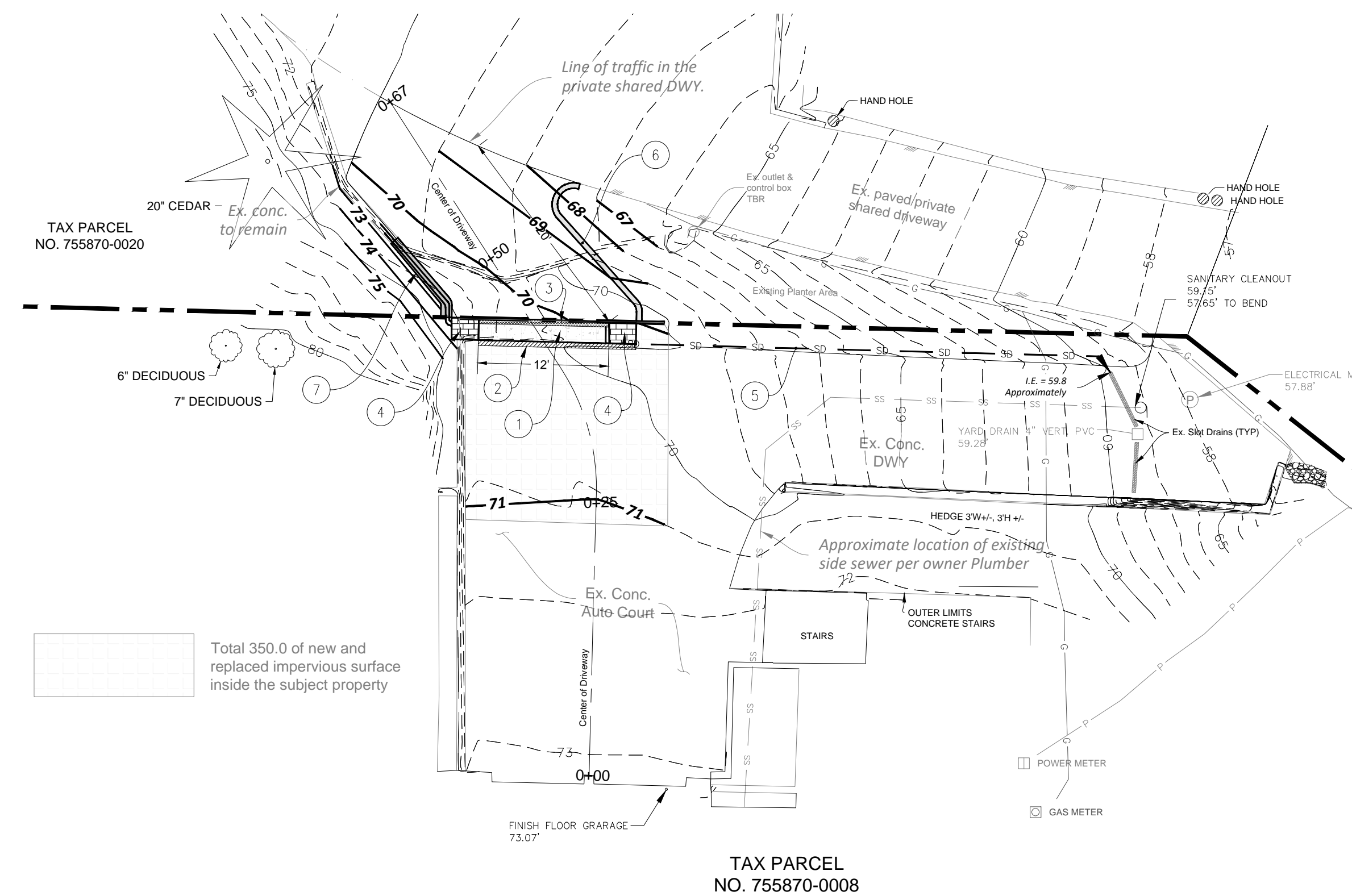
Date: 09/30/2025
STAMP IS NOT VALID UNLESS SIGNED AND DATED

Job Number: 250515-PL-2503
DWG Date: 09/30/2025
Sheet No. C-4.0 OF C-6.0

S1/2 OF THE SE1/4 OF SECTION 18, TOWNSHIP 24 NORTH, RANGE 05 EAST, W.M.
KING COUNTY, WASHINGTON



- ① Proposed 12' wide concrete driveway.
- ② Prop 14' Long Sliding metal gate.
- ③ Proposed 6" Traffic Bearing Slot Drain.
- ④ 2.5' X 2' X 6' Stone Pillars
- ⑤ New Storm Pipe 50' - 6" Solid PVC @ 2% min. Connect New to Existing Slot Drains
- ⑥ New 6" Concrete Curb
- ⑦ New 2.5' Max Concrete Wall



LEGEND	
○	IRON PIPE & CAP FOUND (AS-NOTED)
●	SPOT ELEVATION
⊙	TREE DECIDUOUS
⊙	TREE CONIFEROUS
---	BOUNDARY LINE
---	PROPERTY LINE
-75-	MAJOR CONTOUR
-74-	MINOR CONTOUR
---	GROUND TOP
---	GROUND BREAK
---	EDGE OF ASPHALT
---	CURB AND FLOW LINE
---	BUILDING LINE
---	ROCK WALL
---	CONCRETE WALL
---	CONCRETE
---	HEDGE
---	UNDERGROUND POWER
---	UNDERGROUND GAS

HORIZONTAL DATUM:

THE HORIZONTAL CONTROL IS BASED ON THE MONUMENTATION SURROUNDING THE SITE AND ESTABLISHED IN NAD83/2011 WASHINGTON STATE PLANE COORDINATES, NORTH ZONE, EXPRESSED IN U.S. SURVEY FEET, GROUND DISTANCES.

VERTICAL DATUM:

NAVD 88

CONTOUR INTERVAL - 1 FOOT:

THE CONTOURS SHOWN HEREON WERE COMPUTER GENERATED FROM DIRECT FIELD OBSERVATIONS WITH RESULTING ACCURACY THAT MEETS OR EXCEEDS NATIONAL MAPPING STANDARDS, ONE-HALF THE CONTOUR INTERVAL.

PROJECT BENCHMARKS:

TOP OF IRON PIPE & CAP, REFERENCING THE NW CORNER OF TAX PARCEL 755870-0008, AS SHOWN HEREON ELEVATION = 93.27'

TOP OF IRON PIPE & CAP WITH TACK, REFERENCING THE POINT OF TANGENCY OF A CURVE ALONG THE EAST PROPERTY LINE OF TAX PARCEL 755870-0008, AS SHOWN HEREON ELEVATION = 72.65'

GENERAL NOTES:

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LEGAL DESCRIPTION:

PER STATUTORY WARRANTY DEED AFN: 20221230000677

PARCEL A:

LOT B, CITY OF MERCER ISLAND SHORT PLAT NO. 76-12-036, RECORDED JANUARY 6, 1977 UNDER RECORDING NO. 7701060821, RECORDS OF KING COUNTY, WASHINGTON;

PARCEL B:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER, UPON AND ACROSS ALL EXISTING ROADS AS DISCLOSED IN DEED RECORDED APRIL 4, 1949, UNDER RECORDING NO. 3889721;

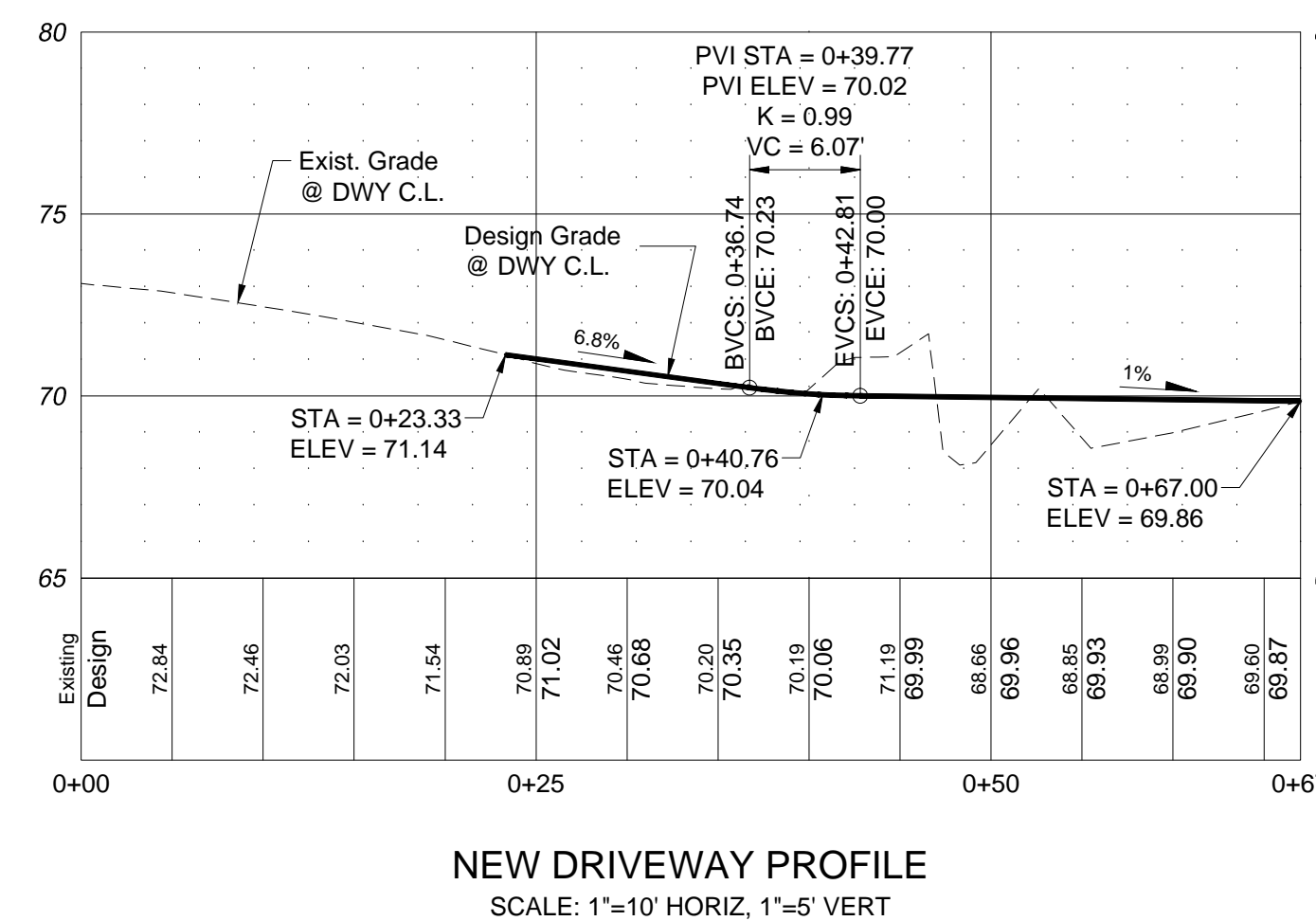
PARCEL C:

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SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

REFERENCES:

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- SHORT PLAT 76-12-036 AFN: 7701060821
- UNRECORDED AS-BUILT SURVEY BY APS SURVEY & MAPPING DATED 5/27/15, JOB NO. 1294.002



NOTE TO CONTRACTOR:

- Prior to contractor start must field verify horizontal and vertical locations of all existing above and underground utilities and its associated top and invert elevations.
- Contractor must notify engineer and city of Mercer Island inspector when utility conflicts are discovered.
- Contractor shall provide and obtain approval of Traffic Control Plans from city of Mercer Island.
- Prior to start of construction contractor must field verify locations of all underground utilities by utilizing pothole techniques and/or by hand digging while using extreme caution.
- Contractor shall assume full 100% liability for any damages caused to any underground and/or above ground utilities and must immediately restore all damaged utilities per applicable standards at his/her or own cost.
- Contractor shall assume full 100% liability for any damages caused to any to city ROW, and private properties and must immediately restore all damaged per applicable city of Mercer Island standards / code requirements at his/her or own cost.
- In the event of utilities crossing conflicts contractor must immediately inform City of Mercer Island Inspector, City of Mercer Island Engineer, the project owner, and the project engineer prior to continuing with construction activities.
- Contractor shall restore / adjust all disturbed utility connections to final finished grades per applicable utility standards.
- Locations of new / proposed dry utilities shown hereon are for information only. The project contractor must coordinate and obtain approval for new proposed above and under ground dry utilities such as power and telephone / communication utilities, with each respective utility company prior to construction start.
- Contractor must coordinate and obtain approval for any relocation or re-connection of any existing above and under ground utilities with each respective utility company prior to construction start.
- Horizontal separation between new side sewer lines and new water service must be per city of Mercer Island Standards, and cannot be less than 12" O.C. or as approved by city officials.
- Vertical separation between new side sewer lines and new water service must be per city of Mercer Island Standards, and cannot be less than 12" O.C. or as approved by city officials.

ENGINEER NOTE:

- Prior to the construction start, the project contractor must hold and attend PRE MEETING with the city of Mercer Island Inspector.
- Prior to construction start, the project contractor must prepare and submit Traffic Control Plan to the City of Mercer Island.
- Prior to construction start, the project contractor must verify location of all existing above ground and underground utilities.



CITY OF MERCER ISLAND APPROVAL

DATE: _____

CODE OFFICIAL: _____

DATE: _____

CITY ENGINEER: _____

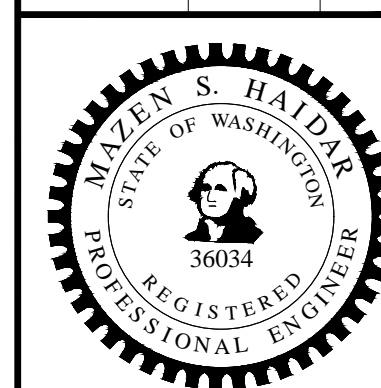
Revisions	No.	Date	By

CABRERA PROPERTY

Grading and Drainage Plan

Plan Plotted For:
Second Submittal

PACIFIC LAND ENGINEERING
Civil Engineering, Development Services, Land Use Consulting
Permit Expediting Services, Inspection Services, Expert Witness
Bellevue, WA - www.pacificlandeng.com
Phone: (206) 835-0160
Email: info@pacificalandeng.com



Date: 09/30/2025
STAMP IS NOT VALID UNLESS SIGNED AND DATED

Job Number:	250515-PLE-2503
DWG Date:	09/30/2025
Sheet No.	C - 5.0
	OF
	C - 6.0

STORM DRAINAGE

PART 1 - GENERAL

1.1 SECTION INCLUDES

A. The work includes constructing drainage pipe and drainage structures.

1.2 STANDARD SPECIFICATIONS

- A. All work shall conform with the 2023 Standard Specifications and Standard Plans for Road, Bridge and Municipal Construction, as published by the Washington State Department of Transportation, unless otherwise indicated herein.
B. The Contractor shall have one copy of the Standard Specifications and Standard Plans at the job site.
C. The Standard Specifications apply only to performance and materials and how they are to be incorporated into the work. The legal/contractual relationship sections, and the measurement and payment sections do not apply to this document.

PART 2 - PRODUCTS

2.1 PIPE

- A. Drainage pipe 12 inches and larger shall conform to Section 7-04.2 of the WSDOT Standard Specifications. PVC (polyvinyl chloride) drainage pipe shall have gasketed push-on joints and shall conform to ASTM D 3034-00, SDR 35. LPE (lined corrugated polyethylene pipe) shall be provided with a smooth interior wall and shall conform to AASHTO M 294-S. Couplings shall be gasketed to provide a watertight connection.
B. Drainage pipe 8 inches and smaller shall have flexible, gasketed, push-on joints and be PVC (polyvinyl chloride) SDR 35 conforming to ASTM D 3034-00. Fittings shall be factory molded of PVC. All pipe and fittings shall be legibly and permanently marked with type and class.

2.2 CATCH BASINS AND MANHOLES

A. Catch basins and manholes shall be precast concrete structures conforming to the City of Mercer Island standard notes as shown on the plans. Metal castings shall conform to the City of Mercer Island standard notes as shown on the plans.

2.3 FILTER FABRIC

B. Filter fabric shall be Mirafix 100X, Typar 3201, Typar 3301 or an approved equal.

2.4 TRENCH DRAIN

A. Trench drain shall be ACO Drain model number FG100 with grate model number 461. Grates shall be locked down with bolted lockings as manufactured by ACO Polymer Products, Inc. All trench drain products shall be the models listed above or an approved equivalent.

2.5 AREA DRAINS

- A. Area drains in vehicular areas shall be JR Smith model number 2450 or 2455 Traffic Floor Drains with cast iron grate or an approved equivalent. Outlet pipe shall be 6".
B. Areas drains in pedestrian areas shall be the model shown on the landscaping plans and shall have a heel proof nickel bronze grate.

PART 3 - EXECUTION

3.1 PIPE

A. Pipe shall be installed in conformance with Section 7-04.3 of the WSDOT Standard Specifications. Backfill shall conform to the City of Mercer Island standard notes as shown on the plans.

3.2 STRUCTURES

A. Structures shall be installed in conformance with Section 7-05.3 of the WSDOT Standard Specifications.

3.3 TRENCH DRAIN

A. Trench drains shall be installed per manufacturer's installation instructions and recommendations.

3.4 AREA DRAINS

A. Area drains shall be installed per manufacturer's installation instructions and recommendations.

CLEARING AND GRUBBING

STANDARD SPECIFICATIONS

- A. All work to be performed and materials to be used shall be in accordance with the 2021 Standard Specifications and Standard Plans for Road, Bridge and Municipal Construction, as published by the Washington State Department of Transportation, unless otherwise indicated herein.
B. The Contractor shall have one copy of the Standard Specifications and Standard Plans at the job site.
C. The Standard Specifications apply only to performance and materials and how they are to be incorporated into the work.
D. Disposal shall be in conformance with Section 2-01.2 of the WSDOT Standard Specifications and local jurisdiction requirements.

CLEARING AND GRUBBING

The Contractor shall:

- 1. Fell trees only within the area to be cleared.
2. Leave standing any trees or native growth indicated by the Owner's Representative.
3. Trim all trees to be left standing to the height specified by the Owner's Representative, neatly cutting all limbs close to the tree trunk.
4. Thin clumps of native growth as the Owner's Representative may direct.
5. Protect, by fencing if necessary, all trees or native growth from any damage caused by construction operations.
6. Grub deep enough to remove all stumps, large roots, buried logs and other vegetative material.
7. Grub all areas:
a. Indicated by the Owner's Representative.
b. To be excavated.
c. Where subdrainage trenches will be dug, unsuitable material removed or structures built.
d. Upon which embankments will be placed.

WATER

PART 1 - GENERAL

1.1 SECTION INCLUDES

A. The work includes installation of waterlines, water meters, valves and appurtenances.

1.2 STANDARD SPECIFICATIONS

- A. All work shall conform with the 2010 Standard Specifications and Standard Plans for Road, Bridge and Municipal Construction, as published by the Washington State Department of Transportation, unless otherwise indicated herein.
B. The Contractor shall have one copy of the Standard Specifications and Standard Plans at the job site.
C. The Standard Specifications apply only to performance and materials and how they are to be incorporated into the work. The legal/contractual relationship sections, and the measurement and payment sections do not apply to this document.

PART 2 - PRODUCTS

2.1 PIPE AND FITTINGS

A. Pipe and fittings shall conform to the WSDOT Standard Specifications Section 7-09.2 for water mains and Section 7-15.2 for service connections.

2.2 VALVES

A. Valves and valve boxes shall conform to City of Mercer Island standard notes and details as shown on the plans.

2.3 FIRE HYDRANTS

A. Fire hydrants shall conform to City of Mercer Island standard notes and details as shown on the plans.

2.4 POST-INDICATOR VALVE

A. Post indicator valves shall be Mueller Company model number A-20808 or approved equivalent.

2.5 FIRE DEPARTMENT CONNECTION

A. Fire Department connections shall conform to City of Mercer Island standard notes and details as shown on the plans.

2.6 WATER METERS

A. Water meters shall conform to City of Mercer Island standard notes and details as shown on the plans.

2.7 CONCRETE

A. Unreinforced concrete shall be commercial class conforming to Section 6-02.3(2)B of the WSDOT Standard Specifications.

2.8 PLASTIC FOAM (ETHA FOAM)

A. Polyethylene plastic foam shall meet the Federal Specification PPP-C-1752C Type 1, Class 2, (Ethafom).

PART 3 - EXECUTION

3.1 TRENCHES

A. Trenches shall be excavated and backfilled, and the pipe shall be bedded in conformance with Section 7-09.3 of the WSDOT Standard Specifications.

3.2 PIPES AND VALVES

A. Pipes and valves shall be installed in conformance with Sections 7-09.3 and 7-12.3 of the WSDOT Standard Specifications.

3.3 SERVICE CONNECTIONS

A. Service connections shall be installed in conformance with Section 7-15.3 of the WSDOT Standard Specifications.

CONSTRUCTION ALONG OR ACROSS CITY RIGHT-OF-WAY

- 1. THE CITY SHALL EXERCISE FULL CONTROL OF ALL EXCAVATING, CONSTRUCTION AND OTHER WORK IN CITY RIGHT-OF-WAY. THE ENGINEERING DEPARTMENT SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
2. NO CONSTRUCTION MATERIALS MAY BE STORED IN THE RIGHT-OF-WAY WITHOUT PERMISSION OF THE CITY ENGINEER.
3. NO OPEN-CUT CROSSINGS OF CITY STREETS SHALL BE MADE WITHOUT WRITTEN APPROVAL AND AN APPROVED TRAFFIC CONTROL PLAN.
4. ALL OPEN-CUTS OF CITY STREETS SHALL BE AS FOLLOWS:
A) EXISTING SURFACE TO BE PRE-CUT TWO FEET WIDER THAN TOP OF TRENCH WIDTH.
B) BACKFILLING AND MECHANICAL COMPACTION TO 95 PERCENT OF MAXIMUM DENSITY TO BE ACCOMPLISHED IN A MAXIMUM OF 1-FOOT LIFTS IMMEDIATELY AFTER INSTALLATION.
C) BACKFILL MATERIAL SHALL BE COMPLETELY GRANULAR AND FREE DRAINING, AND MUST BE APPROVED FOR USE PRIOR TO PLACEMENT. GENERALLY, THIS REQUIREMENT WILL BE MET ONLY WITH IMPORTED MATERIAL.
D) TEMPORARY PATCH OF NO LESS THAN 2-INCHES OF COLD MIX ASPHALT CONCRETE SHALL BE PLACED IMMEDIATELY FOLLOWING COMPACTION.
5. FINAL RESTORATION OF OPEN-CUT SHALL BE ACCOMPLISHED PRIOR TO FINAL CLEANUP AS FOLLOWS:
A) REMOVE TEMPORARY COLD PATCH. SAW CUT AND TRIM EDGES OF EXISTING ROAD SURFACE TO A NEAT LINE AND THEN TACK PLACE COMPACTED CLASS "B" ASPHALT CONCRETE TO THICKNESS SHOWN ON THE STANDARD DETAILS (MINIMUM OF 2-INCH DEPTH). LEVEL TO CONFORM TO ADJACENT SURFACES.
B) SHOULDERS DISTURBED BY EXCAVATION SHALL BE RE-SHAPED TO ORIGINAL CONDITION AND SURFACED WITH A MINIMUM 2" COMPACTED THICKNESS OF CRUSHED SURFACING TOP COURSE.
C) ALL BACKFILL OF TRENCHES WITHIN THE IMPROVED ROADWAY SHALL BE COMPACTED BY MECHANICAL MEANS TO THE MINIMUM DENSITY OF 95 PERCENT. UPON REQUEST, THE CONTRACTOR SHALL AT HIS EXPENSE FURNISH AS MANY COMPACTION TESTS AS ARE NECESSARY FOR PROOF OF MINIMUM COMPACTION. COMPACTION BY OTHER METHODS SHALL BE PERMITTED ONLY WITH THE CONSENT OF THE ENGINEERING DEPARTMENT.
D) BACKFILLING AND RESTORATION OF TRENCHES IN NON-ROADWAY AREAS SHALL BE ACCOMPLISHED AS FOLLOWS:
I. BACKFILLING SHALL BE IN ACCORDANCE WITH PARAGRAPHS "B" AND "C" OF ITEM "4" ABOVE.
II. TOPSOIL CONFORMING TO SECTION 9-14 OF THE STANDARD SPECIFICATIONS SHALL BE PLACED ON ALL AREAS REQUIRING SEEDING OR SODDING:
a. AREAS TO BE SEEDDED SHALL RECEIVE 4 INCHES OF TOPSOIL.
b. AREAS TO BE SODDED SHALL RECEIVE 3 INCHES OF TOPSOIL.
6. EXISTING DRAINAGE DITCHES, CULVERTS, ETC., SHALL BE KEPT CLEAN AT ALL TIMES. TEMPORARY DIVERSION OF ANY DRAINAGE SYSTEM SHALL NOT BE PERMITTED WITHOUT PRIOR APPROVAL. ANY DRAINAGE CULVERTS, CATCH BASINS, MANHOLES, ETC., DAMAGED BY EXCAVATION SHALL BE REPAIRED OR REPLACED USING NEW MATERIALS AS DIRECTED.
7. IF, IN THE OPINION OF THE ENGINEERING DEPARTMENT, IT APPEARS THAT THE TRAVELED ROADWAY IS, OR MAY BECOME, UNSAFE FOR THE TRAVELING PUBLIC DUE TO WEATHER OR FOR OTHER REASONS, EXCAVATION SHALL CEASE IMMEDIATELY, AND CLEANUP SHALL BE PROMPTLY ACCOMPLISHED.
8. THE LENGTH OF OPEN TRENCH ON STREETS SHALL BE A MAXIMUM OF 200 LINEAL FEET.
9. ALL PIPE STRING ALONG CITY RIGHT-OF-WAY SHALL BE PLACED AT A SAFE DISTANCE FROM THE TRAVELED ROADWAY IN SUCH A MANNER AS TO PREVENT ACCIDENTAL ROLLING ONTO ROADWAY.
10. FINAL CLEANUP, INCLUDING COMPLETE RESTORATION OF SHOULDERS, CLEANING OF DITCHES, CULVERTS AND CATCH BASINS, REMOVAL OF LOOSE MATERIAL FROM BACKSLOPE OF DITCHES, SHALL NOT EXCEED 400 LINEAL FEET BEHIND EXCAVATING OPERATIONS.
11. IF THE FINAL RESTORATION OF OPEN CUTS IS INADEQUATE TO PROTECT THE BASE MATERIALS OF THE STREET FROM INTRUSION BY WATER, THE CONTRACTOR SHALL BE REQUIRED TO SEAL COAT THE FULL WIDTH OF THE STREET.
12. THE STREET SURFACE SHALL BE CLEANED AT THE END OF EACH DAY'S OPERATION WITH A POWER BROOM OR OTHER APPROVED MEANS.
13. NO EXCESS MATERIAL OR UNSUITABLE MATERIAL SHALL BE WASTED ON CITY RIGHT-OF-WAY WITHOUT APPROVAL, NOR ON PRIVATE PROPERTIES WITHOUT WRITTEN CONSENT OF THE OWNER(S).
14. ALL MATERIALS SHALL BE READILY AVAILABLE TO THE JOB SITE AND PROVISIONS SHALL BE MADE TO COMPLETE THE CONSTRUCTION IN ONE CONTINUOUS OPERATION. FAILURE TO COMPLY SHALL RESULT IN EXCAVATION BEING HALTED UNTIL SUCH TIME AS THE CONDITIONS ARE CORRECTED.
15. FINAL INSPECTION AND APPROVAL:
A) ON-SITE INSPECTION DURING CONSTRUCTION SHOULD BE PROVIDED BY THE OWNER AND/OR CITY OF MERCER ISLAND, AT THE CURRENT RATE/HOUR (SEE FEE SCHEDULE).
B) THE USE OF CONSTRUCTED UTILITIES SHALL NOT BE PERMITTED UNTIL FINAL INSPECTION AND APPROVAL OF THE WORK, UNLESS SPECIAL WRITTEN PERMISSION IS OBTAINED FROM THE CITY ENGINEER.
C) PRIOR TO FINAL APPROVAL OF CONSTRUCTION, A VISUAL INSPECTION OF THE SITE WILL BE MADE BY THE DEVELOPMENT SERVICES DEPARTMENT. RESTORATION OF THE AREA MUST BE COMPLETE BEFORE FINAL ACCEPTANCE.
D) AS-BUILT MAPS SHALL BE PROVIDED TO THE CITY THAT INDICATE THE LOCATION OF ALL OF THE IMPROVEMENTS AND ANY UTILITIES ENCOUNTERED DURING THE WORK.

GENERAL NOTES

- 1. STANDARD SPECIFICATIONS
(A) ALL WORK TO BE PERFORMED AND MATERIALS TO BE USED SHALL BE IN ACCORDANCE WITH THE WSDOT/APWA 2004 STANDARD SPECIFICATIONS AND STANDARD PLANS FOR ROAD, BRIDGE AND MUNICIPAL CONSTRUCTION, AS APPLICABLE AND AS MODIFIED BELOW, AND UNLESS OTHERWISE NOTED, SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF MERCER ISLAND.
(B) LOCAL AMENDMENTS TO THE STANDARD SPECIFICATIONS, CONSISTING OF STANDARD DRAWINGS AND SPECIAL TECHNICAL CONDITIONS ARE REFERENCED IN THESE NOTES. COPIES OF THESE DOCUMENTS ARE AVAILABLE AT THE OFFICE OF THE CITY ENGINEER, CITY OF MERCER ISLAND, 9611 SE 26TH STREET, MERCER ISLAND, WA 98040.
(C) THESE SPECIFICATIONS SHALL BE APPLICABLE FOR, BUT NOT LIMITED TO, PUBLIC AND PRIVATE STREETS, DRIVEWAYS, PARKING LOTS, COMMERCIAL AND INDUSTRIAL DEVELOPMENTS, APARTMENTS, ETC. WORK IN PRIVATE DEVELOPMENTS SHALL CONFORM TO THE SAME STANDARDS OF WORKMANSHIP AND MATERIALS AS ARE SPECIFIED WITHIN THE CITY RIGHT-OF-WAY, EXCEPT AS INDICATED ON THE PLANS.
2. PERMITS
PRIOR TO CONSTRUCTION, AND IN ADDITION TO ANY OTHER PERMITS REQUIRED, A CITY OF MERCER ISLAND "STREET USE PERMIT" MUST BE OBTAINED FOR ANY AND ALL WORK WITHIN THE CITY RIGHT-OF-WAY.
3. PLANS
IT IS A REQUIREMENT OF THE CITY OF MERCER ISLAND ENGINEERING DEPARTMENT, THAT AN APPROVED SET OF CONSTRUCTION PLANS FOR ALL WORK BE KEPT ON THE CONSTRUCTION SITE AT ALL TIMES DURING THE CONSTRUCTION PERIOD.
4. INSPECTION
THE ENGINEERING DEPARTMENT CONSTRUCTION INSPECTOR 236-5300, OR 236-3587. (24-HR TAPED INSPECTION LINE) SHALL BE NOTIFIED 24-HOURS PRIOR TO STARTING ANY TYPE OF CONSTRUCTION INCLUDING CLEARING, SANITARY SEWERS, WATER MAINS, STORM DRAINS, CURB AND GUTTERS, SIDEWALKS, DRIVEWAYS, STREET GRADING AND PAVING.

TRAFFIC CONTROL IN THE CITY RIGHT-OF-WAY

- 1. ALL SIGNS, BARRICADES AND RELATED EQUIPMENT AND THEIR USE MUST BE IN ACCORDANCE WITH PART 6, "TEMPORARY TRAFFIC CONTROL" OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, AS PREPARED BY THE NATIONAL JOINT COMMITTEE ON UNIFORM TRAFFIC CONTROL DEVICES.
2. PARTICULAR ATTENTION SHOULD BE MADE TO THE FOLLOWING ITEMS:
A) THERE SHALL BE AT ALL TIMES REASONABLE PEDESTRIAN AND VEHICULAR ACCESS TO AND EGRESS FROM THE PROPERTIES ADJACENT TO THE PROJECT, SO FAR AS POSSIBLE. DURING NON-WORKING HOURS, THE CONTRACTOR SHALL KEEP THE EXISTING TRAFFIC LANES CLEAR FOR TRAFFIC WITHOUT INTERFERENCE FROM HIS OPERATIONS SO FAR AS POSSIBLE.
B) SIGNS AND BARRICADES SHALL BE SUPPLEMENTED BY FLASHER UNITS DURING THE HOURS OF DARKNESS, AT CONSTRUCTION SITES IN CLOSE PROXIMITY TO VEHICULAR AND PEDESTRIAN WAYS.
C) THE PUBLIC SAFETY DEPARTMENT (236-3500) SHALL BE NOTIFIED 24 HOURS PRIOR TO BARRICADING OR CLOSING OF STREETS. PROPER PROVISIONS SHALL BE MADE FOR THE PUBLIC CONVENIENCE, SAFETY AND TRAVEL.
D) ANY ASPHALT CONCRETE PAVEMENTS, CRUSHED SURFACING, GRAVEL BASE OR WATER REQUIRED FOR MAINTAINING TRAFFIC DURING THE LIFE OF THE PROJECT SHALL BE PLACED BY THE CONTRACTOR IMMEDIATELY UPON REQUEST BY THE ENGINEER.
E) ALL UNATTENDED EXCAVATIONS SHALL BE PROPERLY BARRICADED SO AS TO PREVENT ACCIDENTS.

CONTROL OF MATERIAL

- 1. THE SOURCE OF SUPPLY AND A DETAILED LIST OF EACH LIST OF EACH OF THE MATERIALS FURNISHED BY THE CONTRACTOR SHALL BE SUBMITTED TO THE CITY FOR APPROVAL PRIOR TO DELIVERY. ONLY MATERIALS CONFORMING TO THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPROVED BY THE CITY SHALL BE USED IN THE WORK. TESTING OF MATERIALS MAY INCLUDE TESTS OF ACTUAL SAMPLES, MANUFACTURER'S CERTIFICATIONS, APPROVAL OF CATALOGUE CUTS, OR FIELD ACCEPTANCE REPORTS. TESTING OF MATERIALS FOR INCORPORATION IN PRIVATE WORK SHALL BE PERFORMED AT OTHER THAN CITY EXPENSE.
2. CONCRETE CEMENT MIX FOR SIDEWALK AND ALL OTHER CONCRETE PAVEMENTS SHALL HAVE MINIMUM STRENGTH OF 4,000 PSI. CONTRACTOR AND/OR THE CONCRETE CEMENT SUPPLIER SHALL SUBMIT AND OBTAIN APPROVAL FOR THE CEMENT CONCRETE MIX MATERIAL LIST AND TESTING INFORMATION TO THE CITY OF MERCER ISLAND PRIOR TO INSTALLATION.

STORM DRAINAGE CONSTRUCTION

- 1. STORM DRAINAGE PIPE
PIPE SHALL BE CONCRETE OR ALUMINUM METAL, WITHIN THE PUBLIC RIGHT OF WAY. CONCRETE PIPE UP TO AND INCLUDING 24" DIAMETER SHALL BE UNREINFORCED AND SHALL CONFORM TO ASTM C-14, TABLE II, EXTRA STRENGTH, RUBBER GASKETED. CORRUGATED ALUMINUM ALLOY CULVERT PIPE SHALL BE AASHTO M-196, M-197, M-211, AND M-219. HELICAL GAUGES AND TYPES SHALL BE AS NOTED ON THE PLANS. REINFORCED PIPE SHALL CONFORM TO ASTM DESIGNATION C-76 UNLESS OTHERWISE SPECIFIED. STORM SEWER DETENTION PIPE GREATER THAN 24" DIAMETER SHALL BE RUBBER GASKETED, HELICAL CORRUGATED ALUMINUM PIPE. BEDDING TO BE CLASS "C". GAUGE OF PIPE WILL BE AS SHOWN ON THE PLANS. INSTALLATION SHALL BE IN ACCORDANCE WITH SECTION 7-04 OF THE SPECIFICATIONS AND MAY BE SUBJECT TO FILTRATION TEST.
2. OTHER MATERIALS FOR STORM DRAINAGE CONSTRUCTION REQUIRE WRITTEN APPROVAL OF THE CITY ENGINEER.
3. BACKFILL RESTRICTIONS
A) BEDDING SHALL CONFORM TO STANDARD PLAN B-11.
B) MINIMUM COVER OVER STORM DRAIN SHALL BE 18".
C) TRENCH BACKFILL COMPACTED TO 95% OF MAXIMUM DENSITY SHALL BE REQUIRED WHEREVER TRENCH EXCAVATION IS MADE IN PAVED ROADWAY, SIDEWALK OR ANY OTHER AREA WHERE MINOR SETTLEMENT WOULD BE DETRIMENTAL.
4. CATCH BASINS
A) TYPE 1, CATCH BASIN INLET SHALL CONFORM TO SECTION 7-05 OF THE STANDARD SPECIFICATIONS AND AS SHOWN ON STANDARD PLAN B-1. THE MAXIMUM DISTANCE TO INVERT IS 5'0" WITH A MAXIMUM PIPE DIAMETER UP TO 12" FOR CONCRETE PIPE, 15" FOR CMP. THE SUMP IS A MINIMUM OF 15".
B) TYPE 2, CATCH BASIN INLET SHALL CONFORM TO SECTION 7-05 OF THE STANDARD SPECIFICATIONS AND AS SHOWN ON STANDARD PLAN B-1E. MAXIMUM PIPE DIAMETER OF 24" FOR CONCRETE PIPE, 30" FOR CMP; A MINIMUM OF 8" BETWEEN HOLES. THE SUMP IS A MINIMUM OF 24".
5. INLETS
CURB INLETS SHALL BE APPROVED BY THE CITY ENGINEER
6. GRATE COVERS
A) COVERS FOR CATCH BASINS AND INLETS SHALL CONFORM TO OLYMPIC FOUNDRY CO. #SM50G OR EQUAL FOR SLOPES LESS THAN 3%. WHERE SLOPES EXCEED 3%, USE OLYMPIC FOUNDRY CO. #SM50VG. GRATES SHALL BE DUCTILE IRON AND HAVE THE LETTERS "DUCT" CAST IN THE COVER.
B) SOLID COVERS FOR MANHOLES, WHERE PERMITTED, SHALL BE 24" DIAMETER, WITH "DRAIN" CAST IN COVER IN 2" LETTERS, CONFORMING TO OLYMPIC FOUNDRY CO. MH43, INLAND FOUNDRY NO. 835, OR APPROVED EQUAL.
C) DRAINAGE STRUCTURES NOT WITHIN PUBLIC RIGHT-OF-WAY SHALL HAVE LOCKING LIDS.
7. FRAMES
FRAMES FOR CATCH BASINS AND INLETS SHALL BE OF CAST IRON OR DUCTILE IRON CONFORMING TO OLYMPIC FOUNDRY CO. SM50 OR EQUAL. VANED GRATES (SM50V) SHALL BE INSTALLED WHERE SHOWN ON THE PLANS, EXCEPT THROUGH-CURB INLET FRAMES WHICH SHALL CONFORM TO OLYMPIC FOUNDRY CO. SM52 OR EQUAL.

EROSION AND SEDIMENTATION CONTROL

- 1. THE IMPLEMENTATION OF THESE EROSION SEDIMENTATION CONTROL (ESC) PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE PERMIT HOLDER/CONTRACTOR UNTIL ALL CONSTRUCTION IS APPROVED.
2. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES IN SUCH A MANNER AS TO INSURE THAT SEDIMENT-LADEN WATER DOES NOT ENTER THE DRAINAGE SYSTEM OR VIOLATE APPLICABLE WATER STANDARDS, AND MUST BE COMPLETED PRIOR TO ALL OTHER CONSTRUCTION.
3. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED (E.G. ADDITIONAL SUMPS, RELOCATION OF DITCHES AND SILT FENCES) AS NEEDED FOR UNEXPECTED STORM EVENTS. ADDITIONALLY MORE ESC FACILITIES MAY BE REQUIRED TO ENSURE COMPLETE SILTATION CONTROL. THEREFORE, DURING THE COURSE OF CONSTRUCTION IT SHALL BE THE OBLIGATION AND RESPONSIBILITY OF THE CONTRACTOR TO ADDRESS ANY NEW CONDITIONS THAT MAY BE CREATED BY HIS ACTIVITIES AND TO PROVIDE ADDITIONAL FACILITIES OVER AND ABOVE THE MINIMUM REQUIREMENTS AS MAY BE NEEDED.
4. THE ESC FACILITIES SHALL BE INSPECTED DAILY DURING NON-RAINFALL PERIODS, EVERY HOUR (DAYLIGHT) DURING A RAINFALL EVENT AND AT THE END OF EVERY RAINFALL BY THE PERMIT HOLDER/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING. IN ADDITION, TEMP. SILTATION PONDS AND ALL TEMP. SILTATION CONTROLS SHALL BE MAINTAINED IN A SATISFACTORY CONDITION UNTIL SUCH TIME THAT CLEARING AND OR CONSTRUCTION IS COMPLETED, PERMANENT DRAINAGE FACILITIES ARE OPERATIONAL, AND THE POTENTIAL FOR EROSION HAS PASSED.
5. ANY AREA STRIPPED OF VEGETATION, INCLUDING ROADWAY EMBANKMENTS WHERE NO FURTHER WORK IS ANTICIPATED FOR A PERIOD OF SEVEN (7) DAYS, SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G. SEEDING, MULCHING, MATTING, NETTING, EROSION BLANKETS, ETC.).
6. ANY AREAS NEEDING ESC MEASURE, NOT REQUIRING IMMEDIATE ATTENTION, SHALL BE ADDRESSED WITHIN SEVEN (7) DAYS.
7. THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN THE 48 HOURS FOLLOWING A STORM EVENT.
8. AT NO TIME SHALL MORE THAN ONE FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT LADEN WATER DOWNSTREAM SYSTEM.
9. STABIL VEGETATION ENTRANCES AND WEAPONS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL REQUIREMENTS MAY BE REQUIRED BY THE INSPECTOR TO INSURE THAT ALL PAVED AREAS ARE KEPT CLEAN OF SILT FROM CONSTRUCTION VEHICLES.
10. WHERE SEEDING FOR TEMPORARY EROSION CONTROL IS REQUIRED, FAST GERMINATING GRASSES SHALL BE APPLIED AT AN APPROPRIATE RATE. (E.G. ANNUAL OR PERENNIAL RYE APPLIED AT APPROXIMATELY 80 POUNDS PER ACRE)
11. WHERE STRAW MULCH FOR TEMPORARY EROSION CONTROL IS REQUIRED, IT SHALL BE APPLIED AT A MINIMUM THICKNESS OF THREE INCHES.
12. ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF MERCER ISLAND STANDARDS AND SPECIFICATIONS.
13. EROSION/SEDIMENTATION CONTROLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS IN THE DEPARTMENT OF ECOLOGY STORMWATER MANAGEMENT MANUAL, UNLESS APPROVED BY THE CITY ENGINEER.
14. A COPY OF THE APPROVED EROSION CONTROL PLANS MUST BE ON THE JOBSITE WHENEVER CONSTRUCTION IS IN PROGRESS.
15. TEMPORARY EROSION/SEDIMENTATION CONTROLS SHALL BE INSTALLED AND OPERATING PRIOR TO ANY GRADING OR LAND CLEARING.
16. WHEREVER POSSIBLE, MAINTAIN NATURAL VEGETATION FOR SILT CONTROL.
17. ALL CUT AND FILL SLOPES 5:1 (5 FEET HORIZONTAL TO 1 FOOT VERTICAL) OR STEEPER THAT WILL BE LEFT EXPOSED FOR MORE THAN 7 DAYS SHALL BE PROTECTED BY JUTE MATTING, PLASTIC SHEETING, MULCHING, OR OTHER APPROVED STABILIZATION METHODS AND PROVIDE ADEQUATE RUNOFF CONVEYANCE TO INTERCEPT RUNOFF AND CONVEY IT TO AN APPROVED STORM DRAIN. EXCEPTIONS AS MODIFIED PER THE CONSTRUCTION MORATORIUM OCTOBER 1ST THROUGH APRIL 1ST.
18. OFF-SITE STREETS MUST BE CLEAN AT ALL TIMES. IF DIRT IS DEPOSITED ON THE PUBLIC STREET, THE STREET SHALL BE CLEANED. ALL VEHICLES SHALL LEAVE THE SITE BY WAY OF THE CONSTRUCTION VEHICLE ENTRANCES AND SHALL BE CLEANED OF MUD PRIOR TO EXITING ONTO THE STREET. SILT SHALL BE CLEANED FROM ALL CATCH BASINS WHEN THE BOTTOM HALF BECOMES FILLED WITH SILT.
19. ANY CATCH BASINS COLLECTING WATER FROM THE SITE, WHETHER THEY ARE ON OR OFF OF THE SITE, SHALL HAVE THEIR GRATES COVERED WITH FILTER FABRIC DURING CONSTRUCTION.
20. WASHED GRAVEL BACKFILL ADJACENT TO THE FILTER FABRIC FENCES SHALL BE REPLACES AND THE FABRIC CLEANED IF CLOGGED BY SILT. ALL INTERCEPTOR SWALES SHALL BE CLEANED IF SILT ACCUMULATION EXCEEDS ONE-QUARTER DEPTH.
IF ANY PORTION OF THE EROSION/SEDIMENTATION CONTROL ELEMENTS ARE DAMAGED OR NOT FUNCTIONING, OR IF THE CLEARING LIMIT BOUNDARY BECOMES NON-DEFINED, IT SHALL BE REPAIRED IMMEDIATELY.

STORM DRAINAGE CONSTRUCTION

- 1. BEDDING SHALL CONFORM TO THE WASHINGTON STATE STANDARD SPECIFICATIONS, M-41-10, SECTION 9.03.12(3).
2. MINIMUM COVER OVER STORM DRAIN SHALL BE AS SHOWN ON PLANS.
3. TRENCH BACKFILL COMPACTED TO 95% OF MAXIMUM DENSITY SHALL BE REQUIRED WHEREVER TRENCH EXCAVATION IS MADE IN PAVED ROADWAY, SIDEWALK OR ANY OTHER AREA WHERE MINOR SETTLEMENT WOULD BE DETRIMENTAL.
4. TYPE 1, CATCH BASIN INLET SHALL CONFORM TO SECTION 7-05 OF THE WASHINGTON STATE STANDARD SPECIFICATIONS
5. TYPE 2, CATCH BASIN INLET SHALL CONFORM TO SECTION 7-05 OF THE WASHINGTON STATE STANDARD SPECIFICATIONS
6. GRATE COVERS FOR CATCH BASINS AND INLETS SHALL CONFORM TO OLYMPIC FOUNDRY CO. #SM50G OR EQUAL FOR SLOPES LESS THAN 3%. WHERE SLOPES EXCEED 3%, USE OLYMPIC FOUNDRY CO. #SM50V.
7. SOLID COVERS FOR MANHOLES, WHERE PERMITTED, SHALL BE 24" DIAMETER, WITH "DRAIN" CAST IN COVER IN 2" LETTERS, CONFORMING TO OLYMPIC FOUNDRY CO. MH43, INLAND FOUNDRY NO. 835, OR APPROVED EQUAL.
8. DRAINAGE STRUCTURES NOT WITHIN PUBLIC RIGHT-OF-WAY SHALL HAVE LOCKING LIDS.
9. FRAMES FOR CATCH BASINS AND INLETS SHALL BE OF CAST IRON OR DUCTILE IRON CONFORMING TO OLYMPIC FOUNDRY CO. SM50 OR EQUAL. VANED GRATES (SM50V) SHALL BE INSTALLED WHERE SHOWN ON THE PLANS, EXCEPT THROUGH-CURB INLET FRAMES WHICH SHALL CONFORM TO OLYMPIC FOUNDRY CO. SM52 OR EQUAL.



CITY OF MERCER ISLAND APPROVAL
DATE:
CODE OFFICIAL:
DATE:
CITY ENGINEER:

Table with 3 columns: Revisions, No., Date, By

CABRERA PROPERTY
Standard Notes and Specification Plan

Plan Plotted For: Second Submittal

PACIFIC LAND ENGINEERING logo and contact information: Civil Engineering, Development Services, Land Use Consulting, Permit Expediting Services, Inspection Services, Expert Witness. Bellevue, WA - www.pacificlandeng.com



Date: 09/30/2025
STAMP IS NOT VALID UNLESS SIGNED AND DATED

Job Number: 250515-PLE-2503

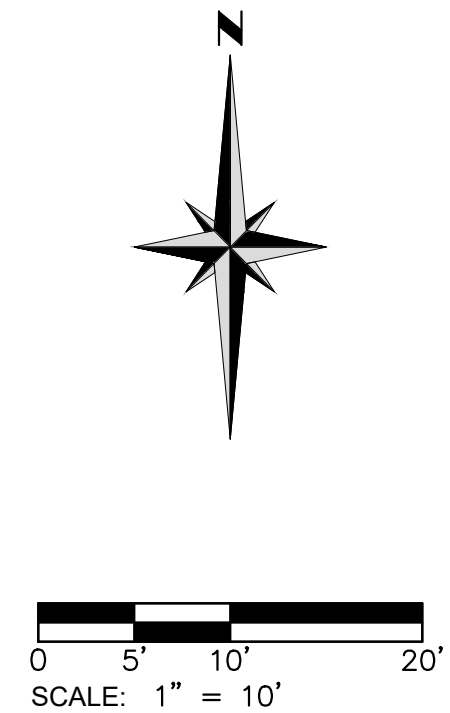
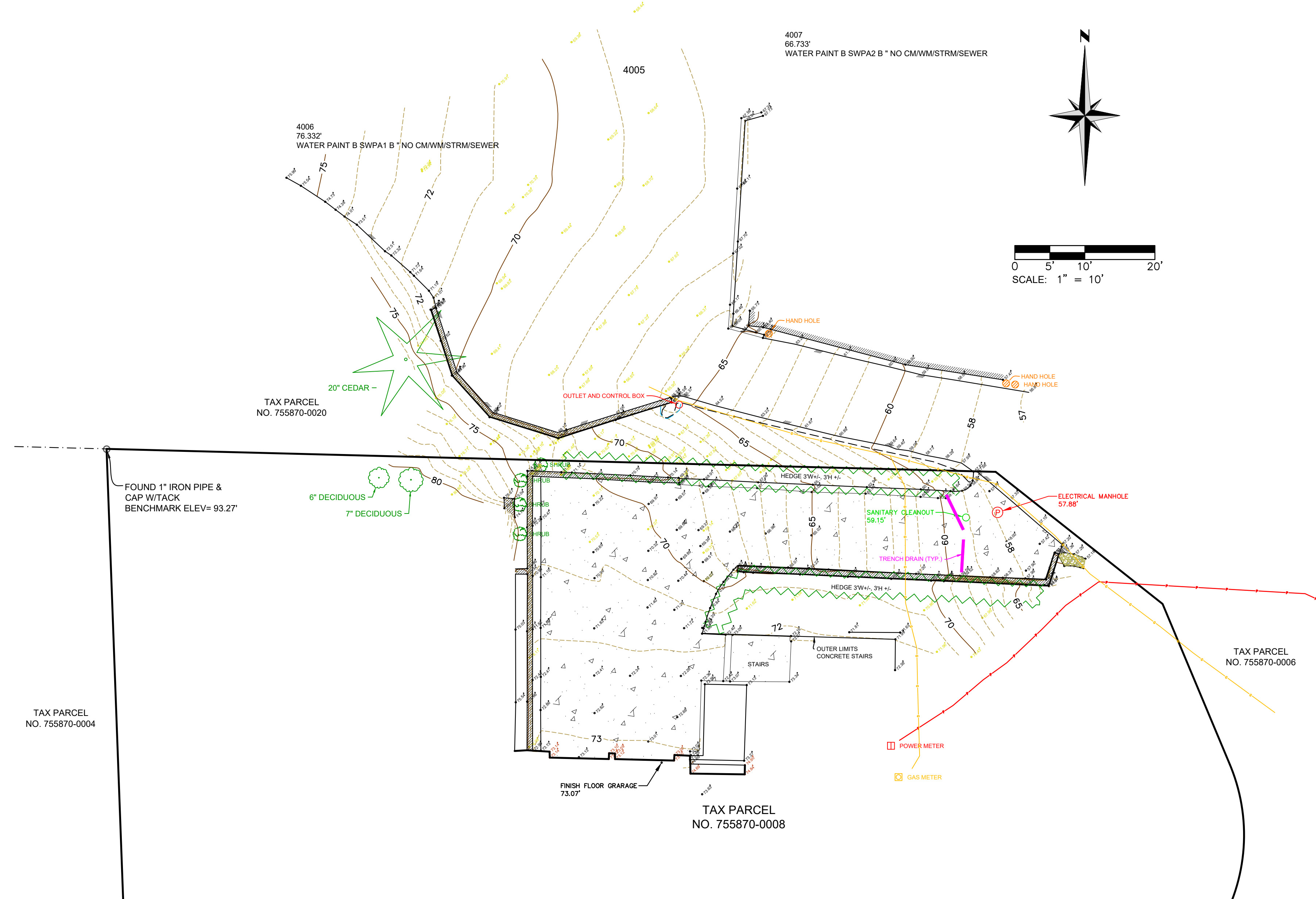
DWG Date: 09/30/2025

Sheet No. C - 6.0

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CITY ENGINEER: C - 6.0

TOPOGRAPHIC SURVEY
TAX PARCEL NUMBER 755870-0008
WITHIN THE S1/2 OF THE SE1/4 OF SECTION 18, TOWNSHIP 24 NORTH, RANGE 05 EAST, W.M., KING COUNTY, WASHINGTON



HORIZONTAL DATUM:

THE HORIZONTAL CONTROL IS BASED ON THE MONUMENTATION SURROUNDING THE SITE AND ESTABLISHED IN NAD83/2011 WASHINGTON STATE PLANE COORDINATES, NORTH ZONE, EXPRESSED IN U.S. SURVEY FEET, GROUND DISTANCES.

VERTICAL DATUM:

NAVD 88

CONTOUR INTERVAL - 1 FOOT:

THE CONTOURS SHOWN HEREON WERE COMPUTER GENERATED FROM DIRECT FIELD OBSERVATIONS WITH RESULTING ACCURACY THAT MEETS OR EXCEEDS NATIONAL MAPPING STANDARDS, ONE-HALF THE CONTOUR INTERVAL.

PROJECT BENCHMARKS:

TOP OF IRON PIPE & CAP, REFERENCING THE NW CORNER OF TAX PARCEL 755870-0008, AS SHOWN HEREON
 ELEVATION = 93.27'

TOP OF IRON PIPE & CAP WITH TACK, REFERENCING THE POINT OF TANGENCY OF A CURVE ALONG THE EAST PROPERTY LINE OF TAX PARCEL 755870-0008, AS SHOWN HEREON
 ELEVATION = 72.65'

GENERAL NOTES:

1. THE PURPOSE OF THIS SURVEY IS TO SHOW THE EXISTING SITE IMPROVEMENTS, NATURAL FEATURES, AND EXISTING TERRAIN FOR A PORTION OF TAX PARCEL 755870-0008, IN KING COUNTY, FOR THE INTENDED USE OF ARCHITECTURAL AND CIVIL ENGINEERING DESIGN.
2. THIS SURVEY WAS PERFORMED USING TRIMBLE R121 GNSS RECEIVERS IN CONJUNCTION WITH A TRIMBLE S SERIES, 3" TOTAL STATION WITH RESULTING ACCURACY THAT MEETS OR EXCEEDS STANDARDS PER WAC 332-130-090.
3. THE INFORMATION ON THIS MAP REPRESENTS THE RESULTS OF A SURVEY MADE IN MARCH AND MAY 2025 AND CAN ONLY BE CONSIDERED AS INDICATING THE GENERAL CONDITIONS EXISTING AT THAT TIME.
4. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS, ENCUMBRANCES AND RESTRICTIONS MAY EXIST ON THIS PROPERTY THAT ARE NOT SHOWN HEREON.
5. UTILITIES SHOWN HEREON ARE BASED UPON FIELD OBSERVED ABOVE GROUND EVIDENCE. ACTUAL LOCATIONS OF UNDERGROUND UTILITIES MAY VARY AND UTILITIES NOT SHOWN ON THIS SURVEY MAY EXIST ON THE SITE. THE APPROPRIATE AGENCIES SHOULD BE CONTACTED FOR POTHOLING AND VERIFICATION BEFORE PERFORMING ANY TYPE OF CONSTRUCTION. THE SURVEYOR SHALL NOT BE HELD LIABLE FOR THE LOCATION OF OR THE FAILURE TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES.

LEGAL DESCRIPTION:

PER STATUTORY WARRANTY DEED AFN: 20221230000677

PARCEL A:

LOT B, CITY OF MERCER ISLAND SHORT PLAT NO. 76-12-036, RECORDED JANUARY 6, 1977 UNDER RECORDING NO. 7701060821, RECORDS OF KING COUNTY, WASHINGTON;

PARCEL B:

A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS OVER, UPON AND ACROSS ALL EXISTING ROADS AS DISCLOSED IN DEED RECORDED APRIL 4, 1949, UNDER RECORDING NO. 3889721;

PARCEL C:

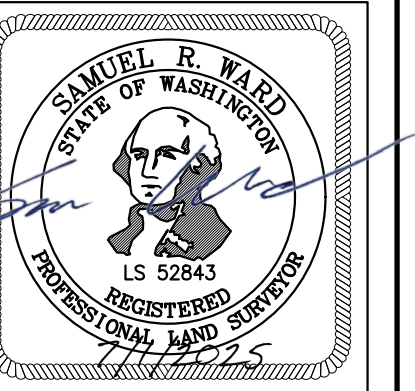
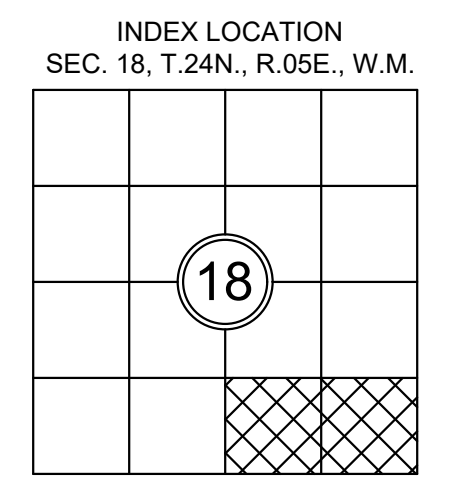
A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS AS DELINEATED ON THE FACE OF CITY OF MERCER ISLAND SHORT PLAT NUMBER 76-12-036 RECORDED UNDER RECORDING NO. 7701060821, RECORDS OF KING COUNTY, WASHINGTON.

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

REFERENCES:

- R1. STATUTORY WARRANTY DEED
AFN: 20221230000677
- R2. SHORT PLAT 76-12-036
AFN: 7701060821
- R3. UNRECORDED AS-BUILT SURVEY
BY APS SURVEY & MAPPING DATED
5/27/15, JOB NO. 1294.002

LEGEND			
	IRON PIPE & CAP FOUND (AS-NOTED)		EDGE OF ASPHALT
	SPOT ELEVATION		CURB AND FLOW LINE
	TREE DECIDUOUS		BUILDING LINE
	TREE CONIFEROUS		ROCK WALL
	BOUNDARY LINE		CONCRETE WALL
	PROPERTY LINE		CONCRETE
	75 MAJOR CONTOUR		HEDGE
	74 MINOR CONTOUR		UNDERGROUND POWER
	GROUND TOP		UNDERGROUND GAS
	GROUND BREAK		



TOPOGRAPHIC SURVEY
4634 E. MERCER WAY, MERCER ISLAND
TAX PARCEL 755870-0008
FOR
CHIP RAGEN

MERCER ISLAND

WASHINGTON

SCALE: 1" = 10'

DATE: 7/07/25

APSSM PROJECT NO.: 3732.002

ACAD NAME: 373202TOP02.dwg

SURVEYED BY: DJ/SL	CHECKED BY: TW	APPROVED BY: SW	DATE:	REVISION:	CK'D:	APPR.:
		BY:	BY:	BY:	BY:	BY:

SHEET **1** OF **1**

DRAWING FILE NAME: C:\Users\Verifi\OneDrive\Documents\Projects\2025\755870-0008\755870-0008.dwg PLOTTED: Jul 01, 2025 - 10:57:13am